

RENOVATIONS for

CALVARY BAPTIST CHURCH

700 Woodard Ave., Cleburne, Texas, 76033

ARCHITECT
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CONSTRUCTION MANAGER
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CLEBURNE HEAT AND AIR 496 PARK ST. CLEBURNE, TEXAS, 76031 PHONE: 817-774-2471

GENERAL NOTES / PROVISIONS
NOTE: AS DIRECTED BY THE OWNER, ANY OR ALL OF THE GENERAL PROVISIONS MAY BE REVISED OR OMITTED BY THE OWNER AND CONTRACTOR.
1. THE SUBMISSION OF A BID/PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR/SUBCONTRACTORS HAVE FAMILIARIZED THEMSELVES WITH THE PLANS, CITY ORDINANCES, FACILITY STANDARDS, AND EXISTING CONDITIONS AT THE SITE. 1.1. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO BID. 1.2. REFER TO "BID DOCUMENTS" FOR SITE "WALK-THRU", DATE AND TIME TO BE ESTABLISHED BY THE CONSTRUCTION MGR.
2. PRIOR TO START OF THE CONSTRUCTION, CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR/SUBCONTRACTOR HAVE RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING, AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR/SUBCONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE "WORK" MANDATED BY ANY REGULATORY AUTHORITY.
3. SHOP DRAWINGS AND SAMPLES (AS APPLICABLE) SHALL BE SUBMITTED TO THE OWNER AND CONSTRUCTION MGR. FOR APPROVAL FOR THE FOLLOWING ITEMS TO INCLUDE, BUT NOT LIMITED TOO: (ALL COLORS TO BE SELECTED BY OWNER) FLOORING: REFER TO ROOM FINISH "KEY"SHEET A3.0; LUXURY VINYL FLOORING, CARPET SQUARES, AND CERAMIC TILE
DOOR/WINDOW FRAMES AND HARDWARE TOILET ACCESSORIES MILLWORK "SHOP" DRAWINGS. LIGHT FIXTURES PLUMBING FIXTURES AND FITTINGS METAL STAIRS HANDRAILS AND GUARDRAILS
4. ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
5. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
6. THE CONTRACTOR/SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES REQUIRED FOR THE "WORK" AND WITHIN THE SCOPE OF THE WORK.
7. UPON REVIEW OF THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR OMISSIONS PRIOR TO START OF CONSTRUCTION.
8. CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO, (2), TYPE "ABC" FIRE EXTINGUISHERS AND ADDITIONAL PROTECTION, AS NECESSARY, DURING CONSTRUCTION, AS REQUIRED BY THE CITY OF CLEBURNE, TEXAS ORDINANCES AND FIRE DEPARTMENT REGULATIONS.
9. ALL PARTITIONS SHALL BE CAPABLE OF SUPPORTING A UNIFORM LATERAL LOAD OF 5 PSI OR GREATER AS AS PER CODE.

10. CONSTRUCTION MANAGER SHALL COORDINATE ALL DELIVERIES OF BUILDING EQUIPMENT AND MATERIALS, TO THE SITE OR OFF SITE, IN A SECURED LOCATION. SUB-CONTRACTORS SHALL INSURE MATERIALS CERTIFICATION INDICATING THE "OWNER" AS THE BENEFICIARY OF THE POLICY.
11. CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND FIXTURES, AND SERVICE REQUIRED FOR THE PROPER EXECUTION OF THE "WORK" AS SHOWN.
12. CONTRACTOR SHALL SUPERVISE THE "WORK" AND COORDINATE ALL PORTIONS THEREOF.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTS OF OMISSIONS OF EMPLOYEES AND SUB-CONTRACTORS.
14. MATERIALS AND EQUIPMENT INCORPORATED IN THE "WORK" SHALL BE NEW, GOOD QUALITY, AND FREE FROM DEFECTS.
15. CONTRACTOR AND SUB-CONTRACTS SHALL WARRANTY ALL WORK FOR ONE (1) YEAR FROM THE DATE OF THE "CERTIFICATE OF OCCUPANCY".
16. CONTRACTOR/SUBCONTRACTORS SHALL PROVIDE A "CERTIFICATE OF INSURANCE" PRIOR TO START OF "WORK". IN ACCORDANCE WITH OWNER'S REQUEST.
17. CONTRACTOR/SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF "WORK" DAMAGED FOR ANY REASON AND SHALL REPLACE AT NO ADDITIONAL COST TO THE OWNER.
18. REVISIONS, CHANGES, OR SUBSTITUTIONS MAY BE PERMITTED IF ITEMS ARE SUBMITTED TO THE OWNER IN A TIMELY MANNER, IN WRITING, AND APPROVED BY THE OWNER IN WRITING AND THE CITY OF HURST, TEXAS. CONTRACTOR/SUBCONTRACTOR SHALL BE RESPONSIBLE/LIABLE FOR REPLACEMENT OF UNAUTHORIZED SUBSTITUTIONS NOT "APPROVED", AS NOTED. THE OWNER RESERVES THE RIGHT TO REJECT SUBMITTED SUBSTITUTIONS FOR ANY REASON.
19. ALL GLAZING SHALL BE TEMPERED AND/OR SAFETY GLAZING TO CONFORM TO LOCAL CODES/ORDINANCES, 2015 IBC, CHAPTER 24 AND IN ACCORDANCE WITH THE RESIDENTIAL IECC. REFER TO WINDOW SCHEDULE SHEET A4.0.
20. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL POWER REQUIREMENTS FOR EACH PIECE OF EQUIPMENT FURNISHED BY THE OWNER. ALL ELECTRIC WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC AND LOCAL ORDINANCES.
21. ALL CONCRETE SHALL BE 3,500 PSI AT 28 DAYS COMPRESSIVE STRENGTH WITH A MAXIMUM SLUMP OF FOUR INCHES (4") UNLESS NOTED OTHERWISE. REFER TO AND COORDINATE WITH STRUCTURAL DOCUMENTS.
22. ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 23, OF THE INTERNATIONAL BUILDING CODE. REFER TO AND COORDINATE WITH STRUCTURAL DOCUMENTS.
23. CONTRACTOR/SUB-CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTY DURING CONSTRUCTION IN ACCORDANCE WITH THE CITY OF HURST, TEXAS, CODES AND ORDINANCES. CONTRACTOR SHALL ALSO PROVIDE PROTECTION OF PEDESTRIANS, IN ACCORDANCE WITH THE CITY OF HURST, TEXAS, CODES, AND ORDINANCES, INCLUDING COMPLIANCE WITH IBC CHAPTER 33 AND SECTION 3306, "PROTECTION OF PEDESTRIANS."

24. CONTRACTOR/SUBCONTRACTORS SHALL KEEP THE "AREA OF WORK", THE PROJECT SITE, CLEAN AND FREE FROM THE ACCUMULATION OF DEBRIS AND WASTE AND SHALL REMOVE "DEBRIS AND WASTE" FROM THE SITE IN ACCORDANCE WITH THE CITY OF CLEBURNE, TX. REQUIREMENTS AND ORDINANCES AND AS REQUIRED BY THE FACILITY MANAGER AND SECURITY PERSONNEL.
25. CONTRACTOR SHALL ASSEMBLE, IN 3-RING BINDERS, AND PRESENT TO THE OWNER, ALL LABOR AND MATERIALS WARRANTIES, AND ALL "LABOR AND MATERIALS" LIEN RELEASES PRIOR TO "FINAL"PAYMENT OF "RETAINAGE" PREVIOUSLY HELD.
26. ALL FIRE EXTINGUISHERS SHALL BE; 5LB, ABC, MULTIPURPOSE, FIRE EXTINGUISHERS AS SHOWN.
27. PROTRUDING OBJECTS SHALL COMPLY WITH IBC, SECTION 1003.3 THROUGH SECTION 1003.5.
28. ALL INTERIOR FINISHES SHALL COMPLY WITH IBC CHAPTER 8, INTERIOR FINISHES, SECTION 803.1.1, INTERIOR WALL AND CEILING FINISH MATERIALS, CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. REFER TO TABLE 803.11, INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY.
29. CONCEALED INSULATION IN WALLS AND CEILINGS TO HAVE A FLAME SPREA INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPE INDEX OF MORE THAN 450. CODE REFERENCE 720.2.
30. TO THE GREATEST EXTENT POSSIBLE ALL MATERIALS SHALL COME FROM LOCAL VENDORS LOCATED WITHIN 100 MILES OF THE SITE.
31. TEXAS ACCESSIBILITY STANDARDS; OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR "PROJECT REGISTRATION, IF REQUIRED, BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.
32. PAYMENTS TO CONTRACTOR 31.1 PAYMENTS TO THE CONTRACTOR SHALL BE IN STRICT ACCORDANCE WITH THE TERMS SET FORTH IN THE AGREED CONTRACT WITH THE OWNER AND CONSTRUCTION MANAGER. 31.2 VERIFICATION OF "REQUEST FOR PAYMENT" AND "PERCENTAGE OF WORK COMPLETED", SHALL BE PERFORMED, IF REQUESTED BY THE OWNER, BY THE ARCHITECT OR AS AGREED UPON BY THE OWNER AND CONSTRUCTION MGR.

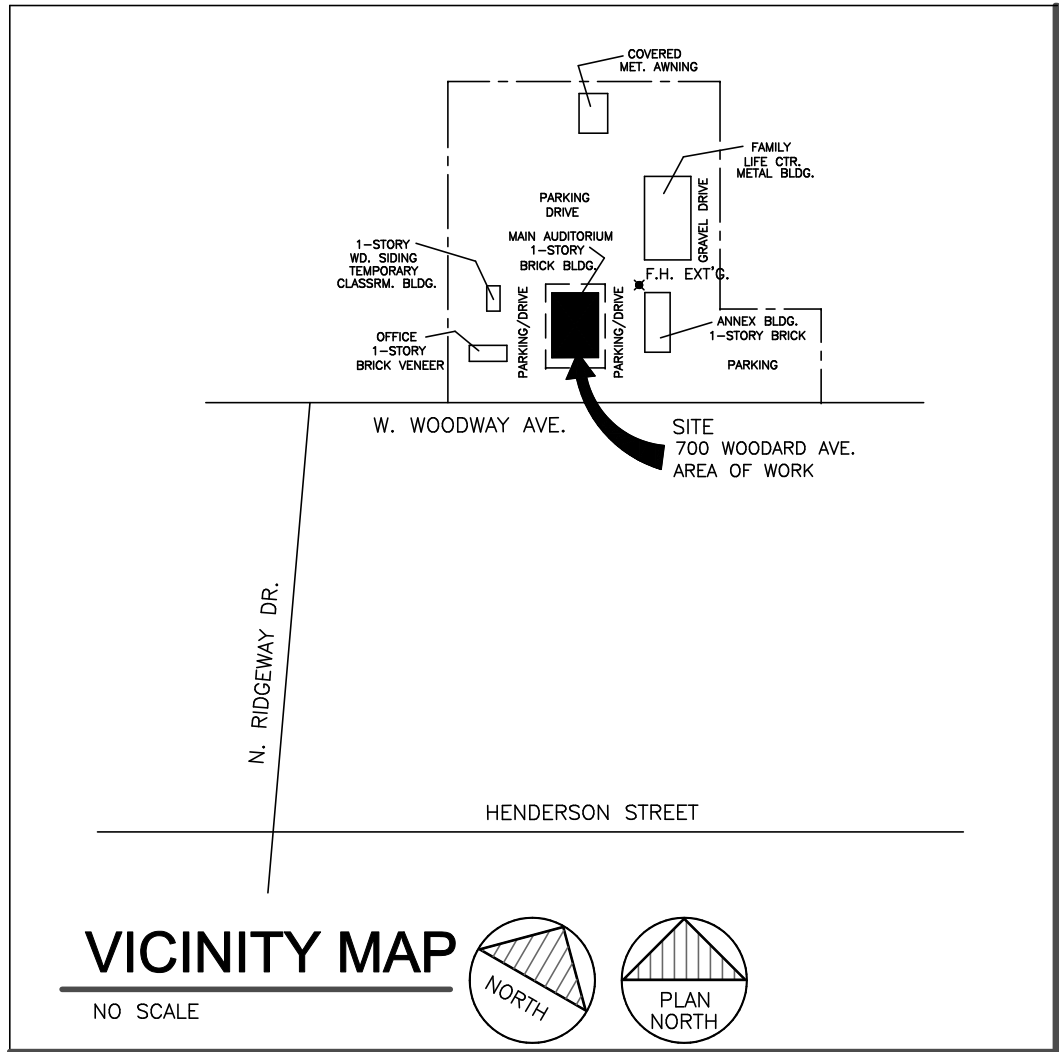
OWNER
CALVARY BAPTIST CHURCH 700 WOODARD AVE. CLEBURNE, TEXAS, 76033
Owner's Representative; KERY WILLIAMS DSA, Inc. Contruction Manager 207 N. Ridgeway Cleburne, Texas, 76033 817-645-8864

CODE ANALYSIS
2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL COMMERCIAL ENERGY CONSERVATION CODE, IECC 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL FIRE CODE 2017 INTERNATIONAL ELECTRICAL CODE

INDEX OF DRAWINGS	
NO.	DESCRIIPTION
GENERAL	
CO.1	COVER SHEET, GENERAL NOTES
ARCHITECTURAL / CIVIL	
A0.1	SITE PLAN
A1.0	PARTIAL EXISTING GRADING, "SPOT GRADES"
A1.1	PARTIAL FINISH "SPOT GRADES"
A2.0	EXISTING FLOOR PLAN
A2.1	DEMOLITION PLAN / NOTES
A2.2	REFERENCE FLOOR PLAN / GENERAL NOTES
A2.3	DIMENSIONED FLOOR PLAN / GENERAL NOTES
A2.4	ENLARGED "PARTIAL" PLANS
A2.5	LIFE SAFETY PLAN "EGRESS" PLAN
A2.6	ACCESSIBILITY DETAILS
A3.0	ROOM FINISH SCHEDULE / SCHEDULE "KEY" / PLAN
A4.0	DOOR/HARDWARE / WINDOW SCHEDULE / DETAILS
A5.0	INTERIOR ELEVATIONS
A6.0	REFLECTED CEILING PLAN
STRUCTURAL	
S0.1	GENERAL NOTES / DESIGN STANDARDS / ABBREVIATIONS
S1.1	STRUCTURAL DETAILS
S2.1	FRAMING PLAN / MISC. DETAILS
MECHANICAL / PLUMBING / ELECTRICAL	
M100	MECHANICAL GENERAL NOTES / SCHEDULES
P100	PLUMBING PLAN / GENERAL NOTES / FIXTURE SCH'D.
P101	WATER DISTRIBUTION PLAN
E100	ELECTRICAL POWER PLAN / FIXTURE SCHEDULE
E101	ELECTRICAL LIGHTING PLAN / FIXTURE SCHEDULE

LEGAL DESCRIPTION
CALVARY BAPTIST CHURCH, CLEBURNE FACILITY, TEXAS
700 WOODWAY AVE. CLEBURNE, TEXAS, 76033 5.581 ACRES OF LAND IN THE THOMAS HARLOW SURVEY ABSTRACT NO. 335, CITY OF CLEBURNE, JOHNSON COUNTY, TEXAS
PROPERTY ZONING:
SF "SINGLE FAMILY"

OCCUPANCY CLASSIFICATION
ASSEMBLY GROUP A-3 REFERENCE CHAPTER 3, SECTION 303.4 OCCUPANCIES INCLUDING ASSEMBLY USES INTENDED FOR WORSHIP.....



OCCUPANCY GROUP: A-3
CONSTRUCTION TYPE: TYPE-VB

wkh

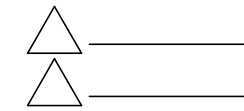
Architect:
William K. Houp
Lic. no. 7937
Date: 08.03.22
Exp: 10.31.22



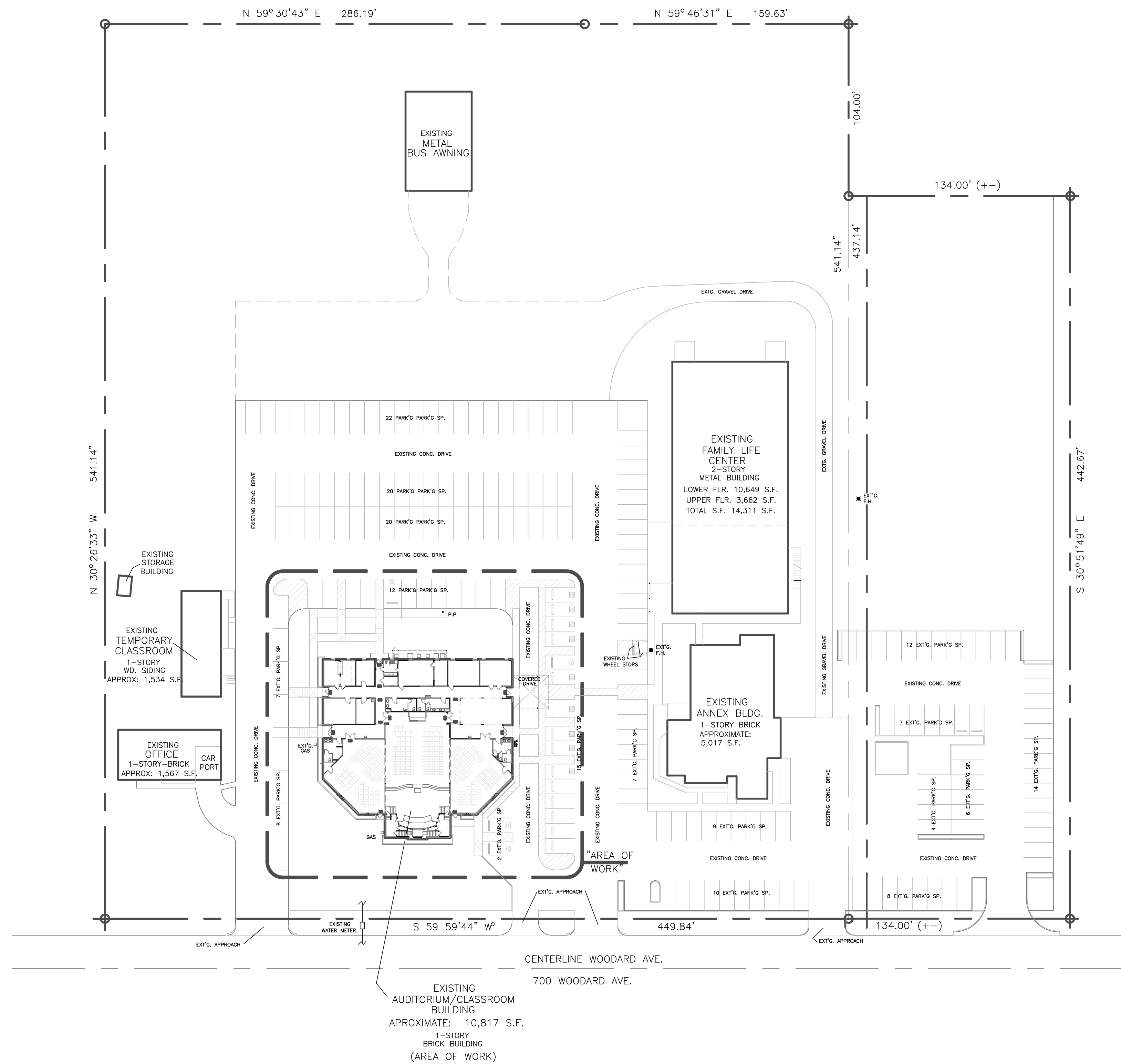
William K. Houp, Architect, Inc.
816 Royal Terrace, Hurst, Texas 76053
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e-mail: wkharchinc@sbcglobal.net

RENOVATIONS for
CALVARY BAPTIST CHURCH
700 Woodard Ave., Cleburne, Texas, 76033

Proj. no. 21001
Drawn by: KH
Date: 08.03.22
Revision Number
Date



Sheet no.
CO.0





1 SITE PLAN

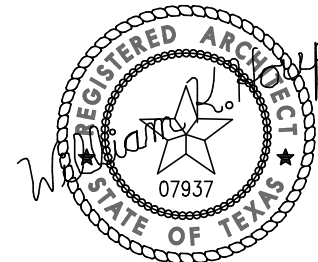
SCALE: 1" = 40' APPROX. 10,810 S.F.

10'20' 40' 80' 120'

GRAPHIC SCALE







SYMBOLS LEGEND		ALL SYMBOLS MAY NOT BE USED
ENTRY	ROOM NAME	
XXX	ROOM NUMBER (DOOR NO. SAME AS ROOM NO.)	
1/AX.X	ELEVATION REFERENCE SHEET LOCATION NO. ELEVATION NUMBER	
1/AX.X	SECTION/ DETAIL REFERENCE SHEET LOCATION NO. ELEVATION NUMBER	
X	TOILET ACCESSORY, REFER TO SHEET A2.4 FOR ACCESSORY SCHEDULE	
P.X	PARTITION TYPES REFER TO SHEET A3.3	

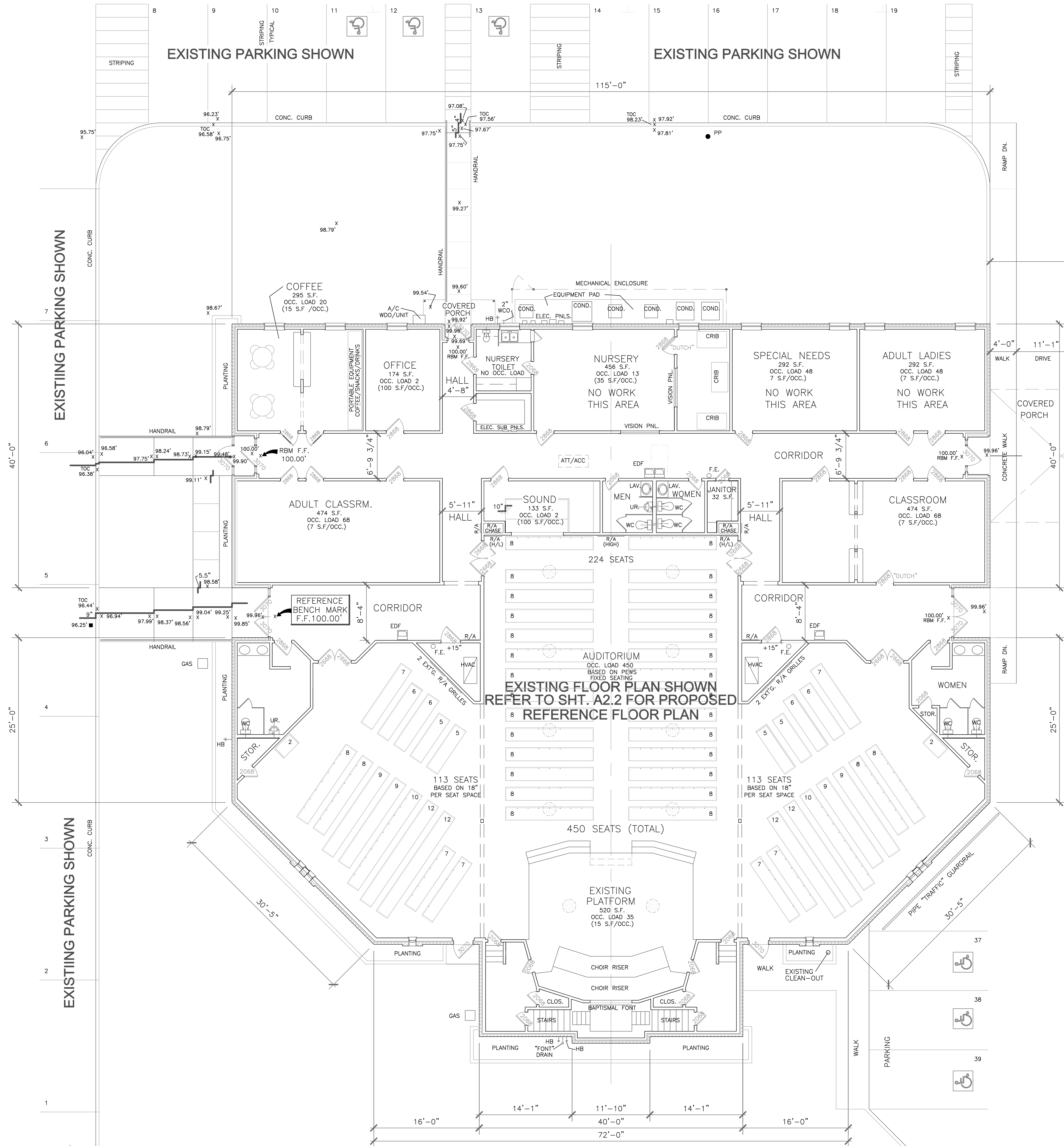
- ### GENERAL NOTES
- CONTRACTOR/SUB-CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BID.
 - CONTRACTOR / SUB-CONTRACTORS SHALL COORDINATE WORK WITH OTHER TRADES PRIOR TO ROUGH-IN OF FIXTURES AND UTILITIES.
 - X 000.00' INDICATES EXISTING "SPOT GRADE" ELEVATION. "SPOT GRADE" INFORMATION FURNISHED BY DSA, INC., CONSTRUCTION MANAGERS.
 - CONTRACTOR/SUB-CONTRACTORS SHALL FIELD VERIFY ALL EQUIPMENT AND UTILITIES PRIOR TO START OF WORK.
 - ALL NOTES AND MATERIAL INDICATIONS ARE TYPICAL AND APPLY TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL REMOVE ALL DEBRIS FROM FACILITY AND SITE AS REQUIRED BY THE CITY OF CLEBURNE, TEXAS.
 - REFER TO SHEET A4.0 FOR DOOR SCHEDULE, AND A3.0 FOR ROOM FINISH SCHEDULE.
 - CONTRACTOR SHALL PROVIDE "SEDIMENT CONTROL" IN ACCORDANCE WITH THE CITY OF CLEBURNE, TEXAS, ORDINANCES.
 - BARRIERS AND FENCES:
CONTRACTOR SHALL PROVIDE/ERECT FENCING, BARRICADES, AND OTHER PROTECTION REQUIRED TO ENCLOSE THE CONSTRUCTION SITE AND PROVIDE PUBLIC PROTECTION. SUCH TEMPORARY PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF CLEBURNE, TEXAS, ORDINANCES AND CODES.
CONTRACTOR SHALL REMOVE BARRIERS AND FENCES AT THE CLOSE OF CONSTRUCTION ACTIVITIES.
 - ADJACENT PROPERTY:
CONTRACTOR SHALL PROVIDE PROTECTION FOR ADJACENT PROPERTIES AND REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.
 - REFER TO DEMOLITION PLAN, SHEET A2.1, FOR THE EXTENT OF "STRIPING" TO BE REMOVED.
 - REFER TO SHEET A1.1 FOR FINISH SPOT GRADES, NEW CONCRETE WALKS, PARKING STRIPING, AND ACCESSIBLE SYMBOLS, ON 9. (EXT'G. SPOT GRADE INFORMATION PROVIDED BY "DSA, CONSTRUCTION MANAGER'S".
 - REFER TO SHEET A2.1 FOR DEMOLITION PLAN.
 - REFER TO SHEET A2.2 FOR "REFERENCE" PLAN.

NOTE: EXISTING FLOOR PLAN SHOWN. REFER TO SHEET A2.2 FOR REFERENCE FLOOR PLAN

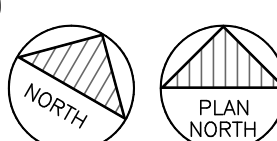
PARTITION TYPES

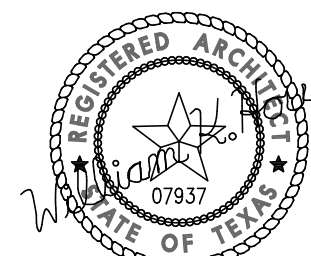
	EXISTING EXTERIOR WALL
	EXISTING PARTITIONS, TO REMAIN.
	3 1/2" x 5 1/2" WOOD STUDS @ 16" O.C. WITH 1/2" x 5/8" GYPSUM BOARD, EACH SIDE, TAPE, BED, TEXTURE, AND PAINT. (FIELD VERIFY GYPSUM THICKNESS AND MATCH) WOOD BLOCKING, REFER TO DETAILS SHEET A2.6.

OCCUPANCY GROUP: **A-3**
CONSTRUCTION TYPE: **TYPE-VB**



EXISTING SPOT GRADES AND EXISTING PARKING LAYOUT
SCALE: 1/8" = 1'-0" APPROX. 10,817 S.F.
39 PARKING SPACES SHOWN @ AREA OF "WORK"
(INCLUDING 12 ACCESSIBLE SPACES) (NO "VAN ACCESSIBLE SPACES")
(NO VAN ACCESSIBLE SPACES)



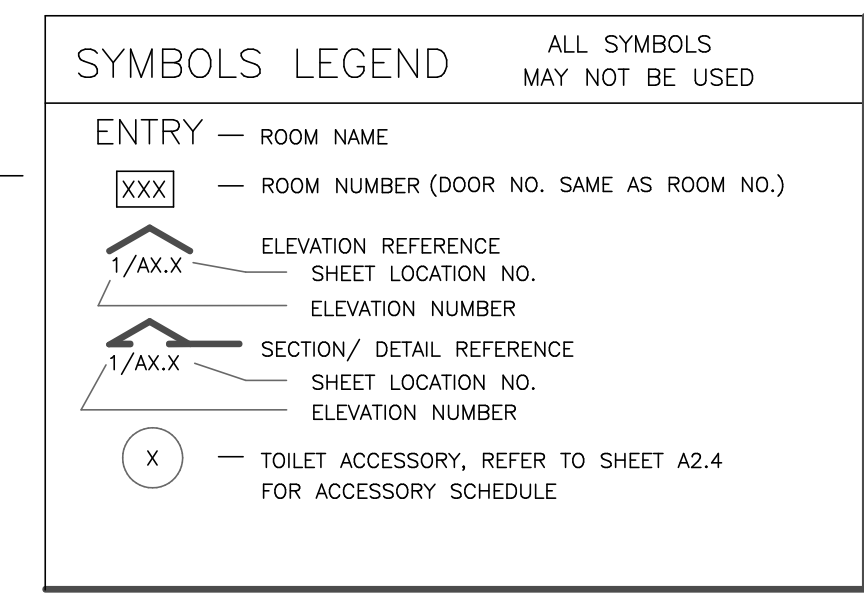


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 Drawn by: KH
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Sheet no.
A1.1







GENERAL NOTES

1. CONTRACTOR/SUB-CONTRACTORS SHALL VERIFY EXISTING CONDITIONS PRIOR TO BID.
2. CONTRACTOR / SUB-CONTRACTORS SHALL COORDINATE WORK WITH OTHER TRADES PRIOR TO ROUGH-IN OF FIXTURES AND UTILITIES.
3. CONTRACTOR / SUB-CONTRACTORS SHALL VERIFY EXISTING SPOT GRADES.
4. CONTRACTOR/SUB-CONTRACTORS SHALL FIELD VERIFY ALL EQUIPMENT AND UTILITIES PRIOR TO START OF WORK.
5. ALL NOTES AND MATERIAL INDICATIONS ARE TYPICAL AND TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM FACILITY AND SITE AS REQUIRED BY THE CITY OF CLEBURNE, TEXAS.
7. REFER TO SHEET A.X.X FOR ROOM FINISH SCHEDULE AND DOOR SCHEDULE.
8. CONTRACTOR SHALL PROVIDE "SEDIMENT CONTROL" IN ACCORDANCE WITH THE CITY OF CLEBURNE, TEXAS, ORDINANCES.
9. BARRIERS AND FENCES:
 - CONTRACTOR SHALL PROVIDE/ERECT FENCING, BARRICADES, AND OTHER PROTECTION REQUIRED TO ENCLOSE THE CONSTRUCTION SITE AND PROVIDE PUBLIC PROTECTION, SUCH TEMPORARY PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF CLEBURNE, TEXAS, ORDINANCES AND CODES.
 - CONTRACTOR SHALL REMOVE BARRIERS AND FENCES AT THE CLOSE OF CONSTRUCTION ACTIVITIES.
10. ADJACENT PROPERTY:
 - CONTRACTOR SHALL PROVIDE PROTECTION FOR ADJACENT PROPERTIES AND REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.
11. X 000.00" INDICATES EXISTING "SPOT GRADE" ELEVATION. "SPOT GRADE" INFORMATION FURNISHED BY DSA, INC., CONSTRUCTION MANAGERS
12. RE-SURF "FIRE LANE" AS PER CLEBURNE FIRE DEPARTMENT REQUIREMENTS.

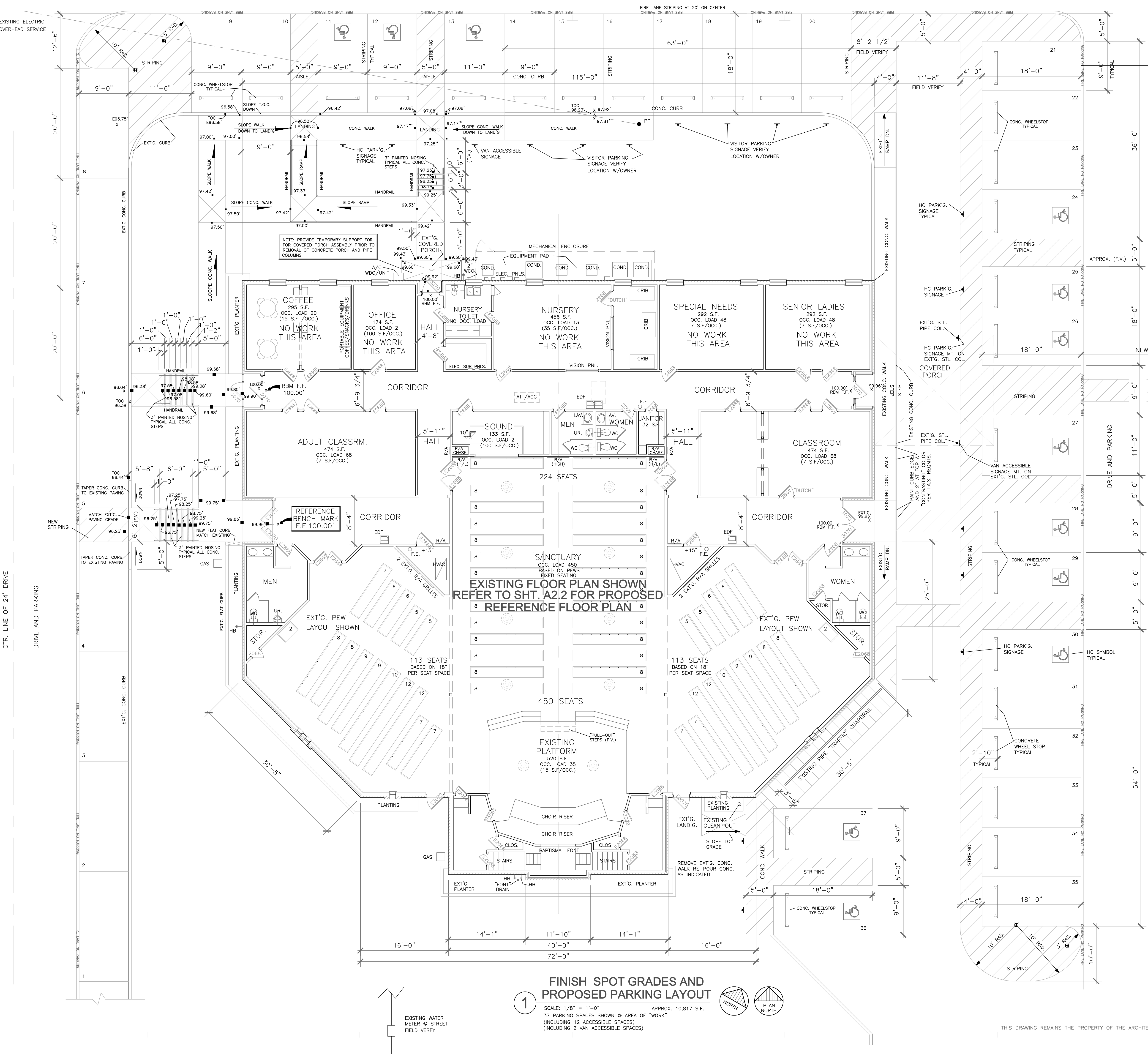
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SEATING - 407

NOTE: EXISTING FLOOR PLAN
SHOWN. REFER TO SHEET A2.2
FOR REFERENCE FLOOR PLAN

PARTITION TYPES

- | | |
|---|--|
|  | EXISTING EXTERIOR WALL |
|  | EXISTING PARTITIONS, TO REMAIN. |
|  | 3 1/2" x 5 1/2" WOOD STUDS @ 16" O.C. WITH 1/2" x 5/8" GYPSUM BOARD, EACH SIDE, TAPE, BED, TEXTURE, AND PAINT. (FIELD VERIFY GYPSUM THICKNESS AND MATCH) |
|  | WOOD BLOCKING, REFER TO DETAILS SHEET A2.6. |

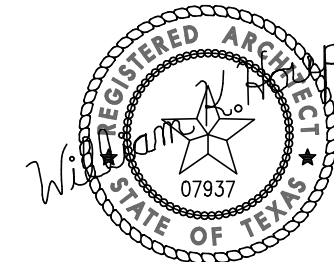
OCCUPANCY GROUP: A-3
CONSTRUCTION TYPE: TYPE-VB



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THIS DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED IN ANY WAY WITHOUT HIS WRITTEN PERMISSION

SCALE: 1/8"



SYMBOLS LEGEND		ALL SYMBOLS MAY NOT BE USED
ENTRY	ROOM NAME	
XXX	ROOM NUMBER (DOOR NO. SAME AS ROOM NO.)	
1/AX.X	ELEVATION REFERENCE SHEET LOCATION NO. ELEVATION NUMBER	
1/AX.X	SECTION/ DETAIL REFERENCE SHEET LOCATION NO. ELEVATION NUMBER	
X	TOILET ACCESSORY, REFER TO SHEET A2.4 FOR ACCESSORY SCHEDULE	

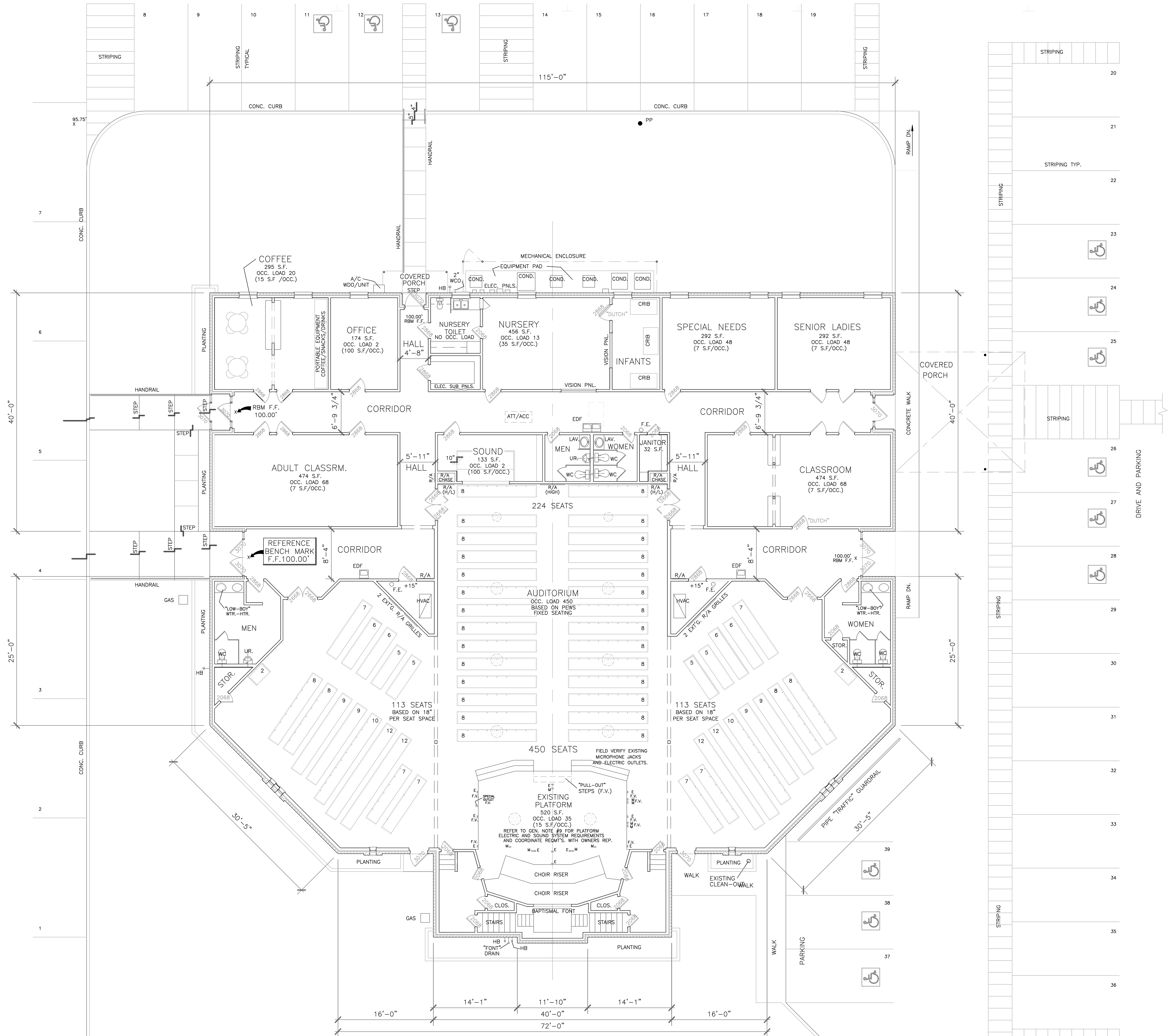
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 - CONTRACTOR / SUB-CONTRACTORS SHALL COORDINATE WORK WITH OTHER TRADES PRIOR TO ROUGH-IN OF FIXTURES AND UTILITIES.
 - CONTRACTOR / SUB-CONTRACTORS SHALL VERIFY EXISTING SPOT GRADES.
 - CONTRACTOR/SUB-CONTRACTORS SHALL FIELD VERIFY ALL EQUIPMENT AND UTILITIES PRIOR TO START OF WORK.
 - ALL NOTES AND MATERIAL INDICATIONS ARE TYPICAL AND TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL REMOVE ALL DEBRIS FROM FACILITY AND SITE AS REQUIRED BY THE CITY OF CLEBURNE, TEXAS.
 - REFER TO SHEET A2.5 FOR ROOM FINISH SCHEDULE AND DOOR SCHEDULE.
 - CONTRACTOR SHALL PROVIDE "SEDIMENT CONTROL" IN ACCORDANCE WITH THE CITY OF CLEBURNE, TEXAS, ORDINANCES.
 - BARRIERS AND FENCES:
CONTRACTOR SHALL PROVIDE/ERECT FENCING, BARRICADES, AND OTHER PROTECTION REQUIRED TO ENCLOSE THE CONSTRUCTION SITE AND PROVIDE PUBLIC PROTECTION. SUCH TEMPORARY PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF CLEBURNE, TEXAS, ORDINANCES AND CODES.
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 - X 000.00' INDICATES EXISTING "SPOT GRADE" ELEVATION. "SPOT GRADE" INFORMATION FURNISHED BY DSA, INC., CONSTRUCTION MANAGERS.
 - PLATFORM NOTE:
ELECTRIC AND SOUND SYSTEM CONTRACTORS SHALL VERIFY EXISTING "PLATFORM" ELECTRIC AND SOUND SYSTEM LOCATIONS AND COORDINATE REQUIREMENTS WITH PROPOSED RENOVATIONS AND OWNERS REPRESENTATIVE.

EXISTING AUDITORIUM
SEATING - 450

NOTE: EXISTING FLOOR PLAN
SHOWN. REFER TO SHEET A2.2
FOR REFERENCE FLOOR PLAN

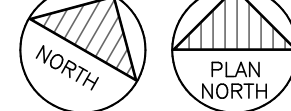
PARTITION TYPES	
	EXISTING EXTERIOR WALL
	EXISTING PARTITIONS, TO REMAIN.
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	WOOD BLOCKING, REFER TO DETAILS SHEET A2.6.

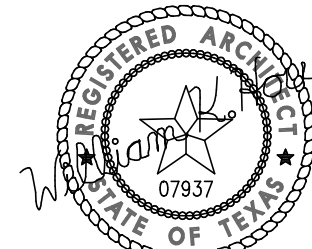
OCCUPANCY GROUP: A-3
CONSTRUCTION TYPE: TYPE-VB



EXISTING FLOOR PLAN AND PARKING LAYOUT

SCALE: 1/8" = 1'-0" APPROX. 10,817 S.F.
39 PARKING SPACES SHOWN @ AREA OF "WORK"
(INCLUDING 12 ACCESSIBLE SPACES) (NO "VAN ACCESSIBLE SPACES")
(NO "VAN ACCESSIBLE SPACES")





GENERAL NOTES

- ALL NOTES AND MATERIAL INDICATIONS ARE TYPICAL AND APPLY TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
- CONTRACTOR/SUB-CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BID.
- CONTRACTOR SHALL COORDINATE EXISTING, DEMOLITION, AND PROPOSED RENOVATION FLOOR PLANS.
- CONTRACTOR SHALL PROVIDE "SEDIMENT CONTROL" IN ACCORDANCE WITH THE CITY OF CLEBURNE, TEXAS, ORDINANCES.
- CONTRACTOR/SUB-CONTRACTORS SHALL FIELD VERIFY ALL EQUIPMENT AND UTILITIES PRIOR TO START OF WORK.
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CONTRACTOR SHALL PROVIDE/ERECT FENCING, BARRICADES, AND OTHER PROTECTION REQUIRED TO ENCLOSE THE CONSTRUCTION SITE AND PROVIDE PUBLIC PROTECTION. SUCH TEMPORARY PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF CLEBURNE, TEXAS, ORDINANCES AND CODES.
CONTRACTOR SHALL REMOVE BARRIERS AND FENCES AT THE CLOSE OF CONSTRUCTION ACTIVITIES.
- CONCRETE DEMOLITION: CONTRACTOR SHALL COORDINATE CONCRETE REMOVAL REQUIRED FOR NEW PLUMBING LAYOUT. REFER TO SHEETS A2.1, A2.2, A2.3, AND A2.4 P100 AND P101 FOR PLUMBING LAYOUT. "SAW-CUT" CONCRETE TO THE GREATEST EXTENT POSSIBLE.
- CONTRACTOR SHALL MAINTAIN REQUIRED EXITS AND EXIT WAYS DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL DEBRIS FROM FACILITY AND SITE AS REQUIRED BY THE CITY OF CLEBURNE, TEXAS.
- CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER, PRIOR TO REMOVAL OF OR CUTTING OF ANY STRUCTURAL MEMBER.
- CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS AS REQUIRED FOR CONSTRUCTION.
- REMOVE DUCTWORK NOT REQUIRED TO BE RE-USED IN NEW CONSTRUCTION. COORDINATE WITH HVAC DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY OF HAZARDOUS MATERIALS.
- REMOVE EXISTING "CHAIR RAIL", REFER TO SHEET A2.2 FOR NEW RAIL.

DEMOLITION LEGEND

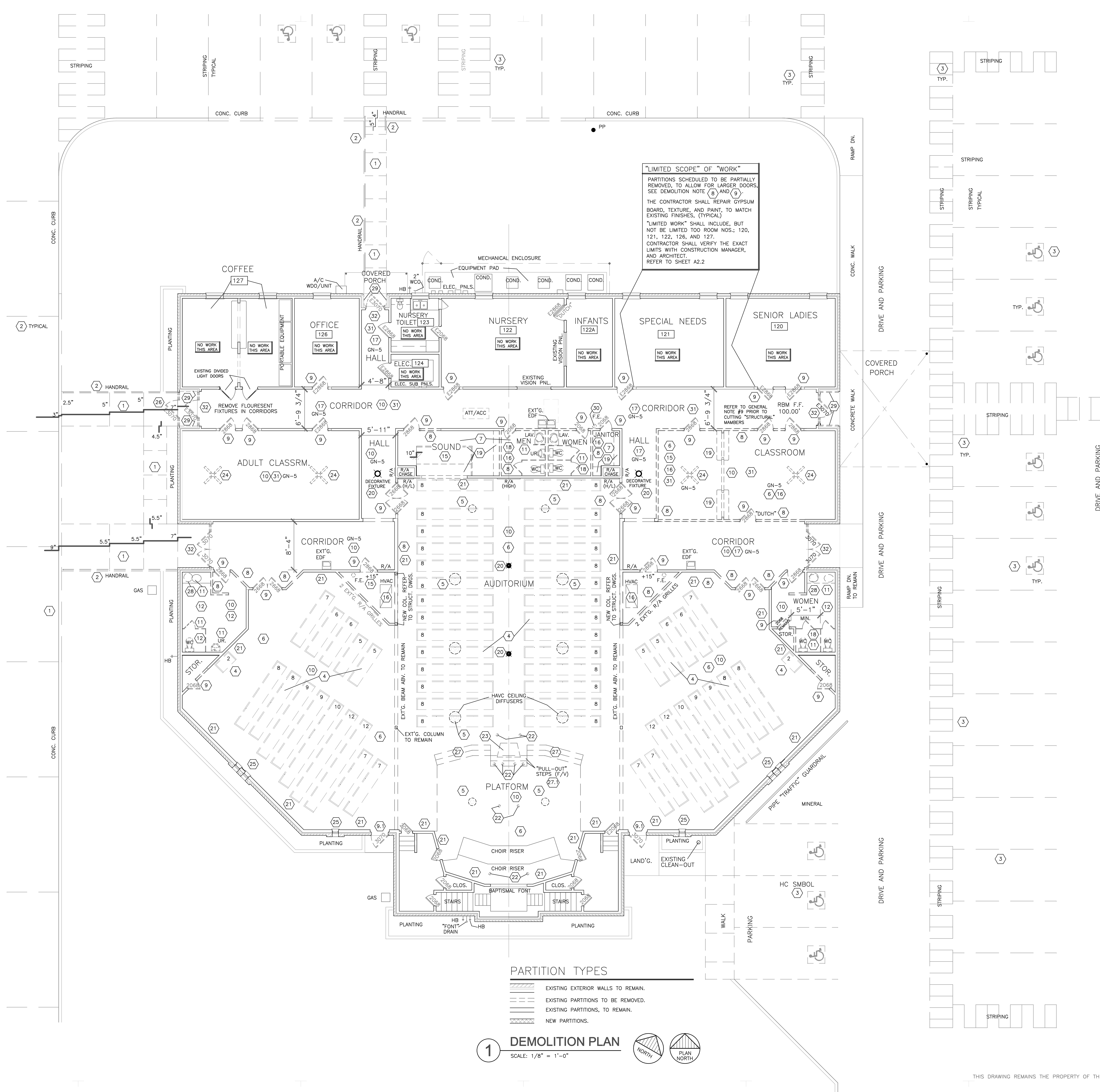
- DASHED LINES INDICATE WALLS, PARTITIONS, DOORS, (INCLUDING FRAMES), AND OTHER ITEMS TO BE REMOVED AS PART OF THE DEMOLITION WORK. REMOVE LAY-IN CEILING TILE AND GRID.
- USE CARE IN THE REMOVAL OF WALLS AND PARTITIONS SCHEDULED FOR DEMOLITION AS NOT TO DAMAGE EXISTING PARTITIONS TO REMAIN.
- CONTRACTORS SHALL TAKE CARE TO PROTECT ANY EXISTING SURFACES AND/OR FINISHES SCHEDULED TO REMAIN.

DEMOLITION NOTES BY SYMBOL

- REMOVE CONCRETE WALKS AND CONCRETE CURBS AS INDICATED.
- REMOVE HANDRAILS/ GUARDRAILS.
- REMOVE "STRIPING" AND HC SYMBOLS ADJACENT TO THE "STRUCTURE" SITE.
- REMOVE "PEWS", STORE / PROTECT FOR NEW UPHOLSTERY. REFER TO SHEET A2.3 FOR REINSTALLATION AND RE-ALIGNMENT. PEW ALIGNMENT FOR "BASE BID" ONLY.
- REMOVE HVAC DIFFUSERS, STORE PROTECT FOR REUSE.
- REMOVE 2x4 LAY-IN FIXTURES THIS AREA.
- REMOVE 2x4 LAY-IN ACOUSTIC CEILING TILE AND GRID THIS AREA.
- REMOVE "DRYWALL" PARTITIONS AS INDICATED.
- REMOVE WOOD DOOR, JAMB, HEADER, AND PARTITION AS REQ'D. FOR NEW LARGER DOOR. REFER TO DOOR SCHEDULE SHEET A4.0.
- REMOVE DOOR ONLY, FRAME TO REMAIN. REFER TO DOOR SCHEDULE SHEET A4.0.
- REMOVE FLOORING IN AREA OF WORK, CARPET/TILE/VCT.
- REMOVE PLUMBING FIXTURES AS INDICATED.
- REMOVE ELECTRIC FIXTURES WITHIN THE AREA OF WORK.
- REMOVE DUPLEX OUTLETS AT DEMO. PARTITIONS.
- REMOVE "PLATFORM" STEPS AND METAL RAILINGS.
- REMOVE A/V EQUIPMENT AT PLATFORM, STORE AND PROTECT FOR REINSTALLATION.
- REMOVE, STORE AND PROTECT A/V EQUIPMENT FOR REINSTALLATION, AT RELOCATED "SOUND" BOOTH.
- REMOVE "RAISED" FLOOR.
- REMOVE HVAC EQUIPMENT AND ABANDON DUCTWORK.
- REMOVE "POPCORN" CEILING IN AREA OF WORK AND AS INDICATED.
- REMOVE TOILET PARTITIONS.
- REMOVE MISC. MILLWORK.
- REMOVE, STORE, AND PROTECT "DECORATIVE" FIXTURES FOR RE-USE.
- REMOVE WOOD PANELING IN AUDITORIUM, VERIFY LIMITS W/OWNER. PROTECT WALL MOUNTED DECORATIVE FIXTURES AS REQUIRED FOR REMOVAL OF PANELING.
- REMOVE, STORE, AND PROTECT FOR RE-USE, "FUNERAL VIEWING" FIXTURES (10)
- REMOVE SUSPENDED "SPEAKER BOX"
- REMOVE CEILING FANS, PROTECT AND STORE FOR RE-USE.
- REMOVE AUDITORIUM WINDOWS (STAINED GLASS), AND SECURE "OPENING" AS REQUIRED. REFER TO GEN. DEMO. NOTES GN-4A.
- REMOVE EXTERIOR DOOR AND STOREFRONT, RE-USE CYLINDER LOCK ON INTERIOR DOOR.
- REMOVE PLATFORM "STEPS", AND UNDER PLATFORM (MOVABLE) STEPS.
- PROTECT UNDER PLATFORM STEPS FOR USE AS A TEMPLATE FOR NEW STEPS.
- REMOVE UNDER CABINET WATER HEATER, TURN OVER TO OWNER.
- REMOVE WOOD PANELING AND FRAMING.
- REMOVE FIRE EXTINGUISHER AND TURN OVER TO OWNER.
- REMOVE FLUORESCENT 1x4 FIXTURES IN CORRIDORS AND CLASSRMS. AS INDICATED. CONTRACTOR SHALL VERIFY EXACT NUMBER OF FIXTURES TO BE REMOVED WITH OWNER AND CONSTR. MGR. REP. PRIOR TO BID.
- REMOVE "STOREFRONT" DOORS AND SIDELIGHTS

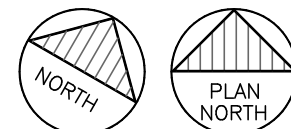
GENERAL DEMOLITION NOTES

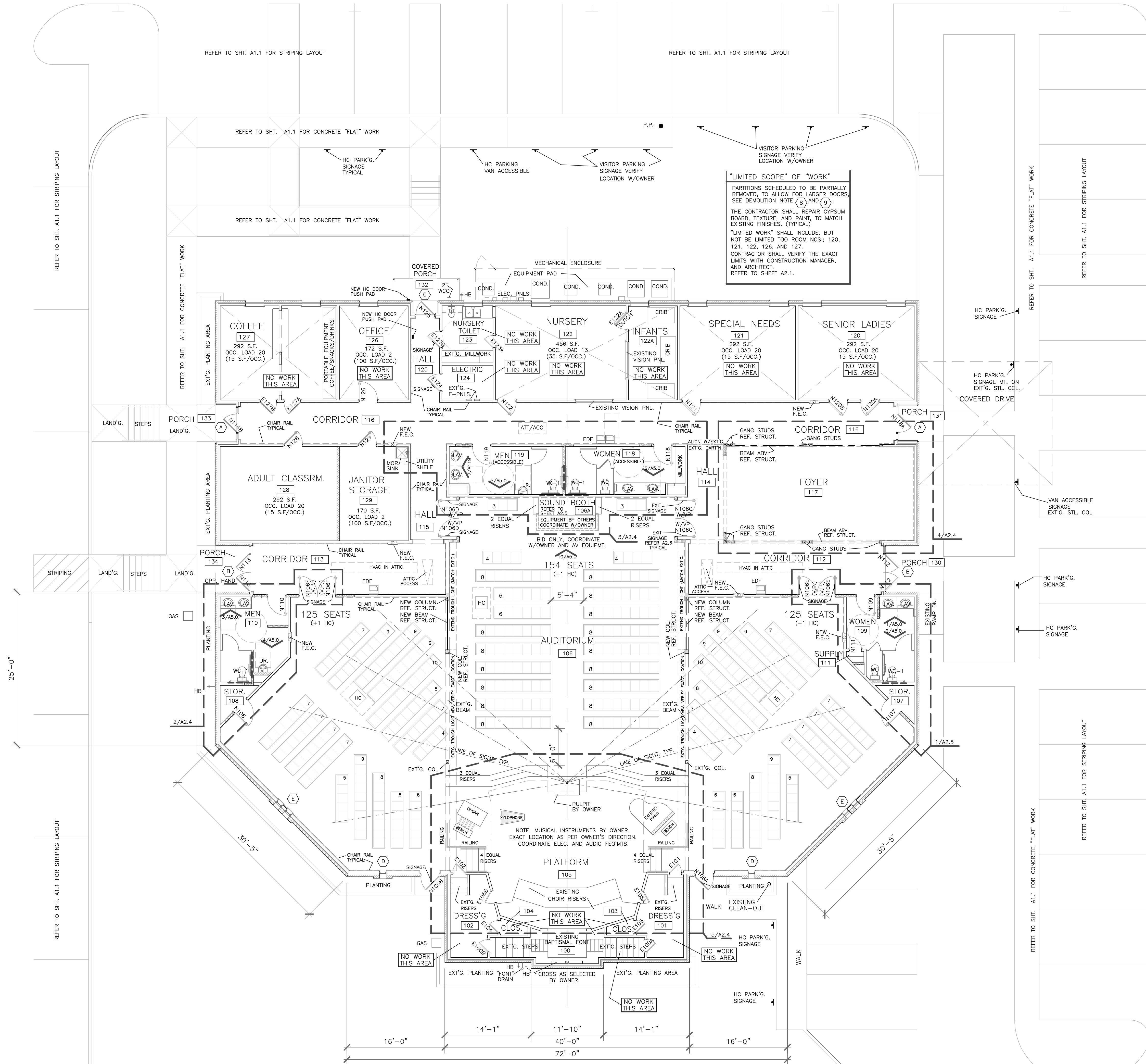
- GN-1: STAINED GLASS WINDOWS
"ALTERNATE GN-1A" REMOVE ALL SANCTUARY STAINED GLASS WINDOWS AND FRAMES, PROVIDE TEMPORARY WEATHER PROOFING SECURITY AS REQUIRED.
- GN-2: REMOVE ALL CEILING FIXTURES AS REQUIRED FOR "ABATEMENT", STORE AND PROTECT FOR RE-USE.

OCCUPANCY GROUP: A-3
CONSTRUCTION TYPE: TYPE-VB

PARTITION TYPES

- EXISTING EXTERIOR WALLS TO REMAIN.
- EXISTING PARTITIONS TO BE REMOVED.
- EXISTING PARTITIONS, TO REMAIN.
- NEW PARTITIONS.

1 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



1 REFERENCE FLOOR PLAN
SCALE: 1/8" = 1'-0"

SYMBOLS LEGEND ALL SYMBOLS MAY NOT BE USED

ENTRY — ROOM NAME

XXXX — ROOM NUMBER (DOOR NO. SAME AS ROOM NO.)

1/AX.X — ELEVATION REFERENCE
SHEET LOCATION NO.
ELEVATION NUMBER

1/AX.X — SECTION/ DETAIL REFERENCE
SHEET LOCATION NO.
ELEVATION NUMBER

X — TOILET ACCESSORY, REFER TO SHEET A2.4 FOR ACCESSORY SCHEDULE

X — STOREFRONT / WINDOW (REFER TO A4.0)

- GENERAL NOTES**
- CONTRACTOR/SUB-CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BID.
 - CONTRACTOR / SUB-CONTRACTORS SHALL COORDINATE WORK WITH OTHER TRADES PRIOR TO ROUGH-IN OF FIXTURES AND UTILITIES.
 - CONTRACTOR / SUB-CONTRACTORS SHALL VERIFY EXISTING SPOT GRADES.
 - CONTRACTOR/SUB-CONTRACTORS SHALL FIELD VERIFY ALL EQUIPMENT AND UTILITIES PRIOR TO START OF WORK.
 - ALL NOTES AND MATERIAL INDICATIONS ARE TYPICAL AND TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL REMOVE ALL DEBRIS FROM FACILITY AND SITE AS REQUIRED BY THE CITY OF CLEBURNE, TEXAS.
 - REFER TO SHEET A4.0 FOR ROOM FINISH SCHEDULE AND DOOR SCHEDULE.
 - CONTRACTOR SHALL PROVIDE "SEDIMENT CONTROL" IN ACCORDANCE WITH THE CITY OF CLEBURNE, TEXAS, ORDINANCES.
 - BARRIERS AND FENCES:
CONTRACTOR SHALL PROVIDE/ERECT FENCING, BARRICADES, AND OTHER PROTECTION REQUIRED TO ENCLOSE THE CONSTRUCTION SITE AND PROVIDE PUBLIC PROTECTION. SUCH TEMPORARY PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF CLEBURNE, TEXAS, ORDINANCES AND CODES.
CONTRACTOR SHALL REMOVE BARRIERS AND FENCES AT THE CLOSE OF CONSTRUCTION ACTIVITIES.
 - ADJACENT PROPERTY:
CONTRACTOR SHALL PROVIDE PROTECTION FOR ADJACENT PROPERTIES AND REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.
 - "PREF" LAYOUT SHOWN IS FOR "BID" PURPOSES ONLY. SUB-CONTRACTOR SHALL PROVIDE "SHOP DRAWINGS" FOR APPROVAL PRIOR TO START OF WORK.
 - HVAC CONTRACTOR SHALL PROVIDE 3/4" PLWD. DECKING AS REQUIRED FOR SERVICE OF EQUIPMENT. COORDINATE LOCATION WITH PROJECT MANAGER AND OWNER.
 - RE-USE EXT'G. CEILING FANS, REFER TO DEMOLITION PLAN SCHEDULE ITEM (24) SHEET A2.1.
 - "CHAIR RAIL"
MOUNT TOP OF CHAIR RAIL 36" ABOVE FINISH FLOOR. CHAIR RAIL "PROFILE" SHALL BE SELECTED FROM MANUFACTURE'S STANDARDS BY OWNER AND COORDINATED WITH CONTRACTOR. COORDINATE LIMITS OF CHAIR RAIL WITH OWNER.

EXISTING AUDITORIUM SEATING - 450

REMODELED AUDITORIUM SEATING - 407

NOTE:
REFER TO SHEET A1.1 FOR PARKING SIGNAGE LOCATIONS; ACCESSIBLE PARKING, VAN ACCESSIBLE, AND, VISITOR PARKING. VERIFY LOCATION AND SIGNAGE WITH OWNER.

NOTE: (WALK / RAMP / STEPS / PARKING)
REFER TO SHEET A1.1 FOR CONCRETE WALK, RAMPS, STEPS, PARKING, AND STRIPING LAYOUT.

PARTITION TYPES

EXISTING EXTERIOR WALL

EXISTING PARTITIONS, TO REMAIN.

3 1/2" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD, EACH SIDE, TAPE, BED, TEXTURE, AND PAINT.

WOOD BLOCKING, REFER TO DETAILS SHEET AX.X

OCCUPANCY GROUP: A-3

wkh

Architect: William K. Houpp
Lic. no. 7937
Date: 08.03.22
Exp: 10.31.22

REGISTERED ARCHITECT
WILLIAM K. HOUP
STATE OF TEXAS
07937

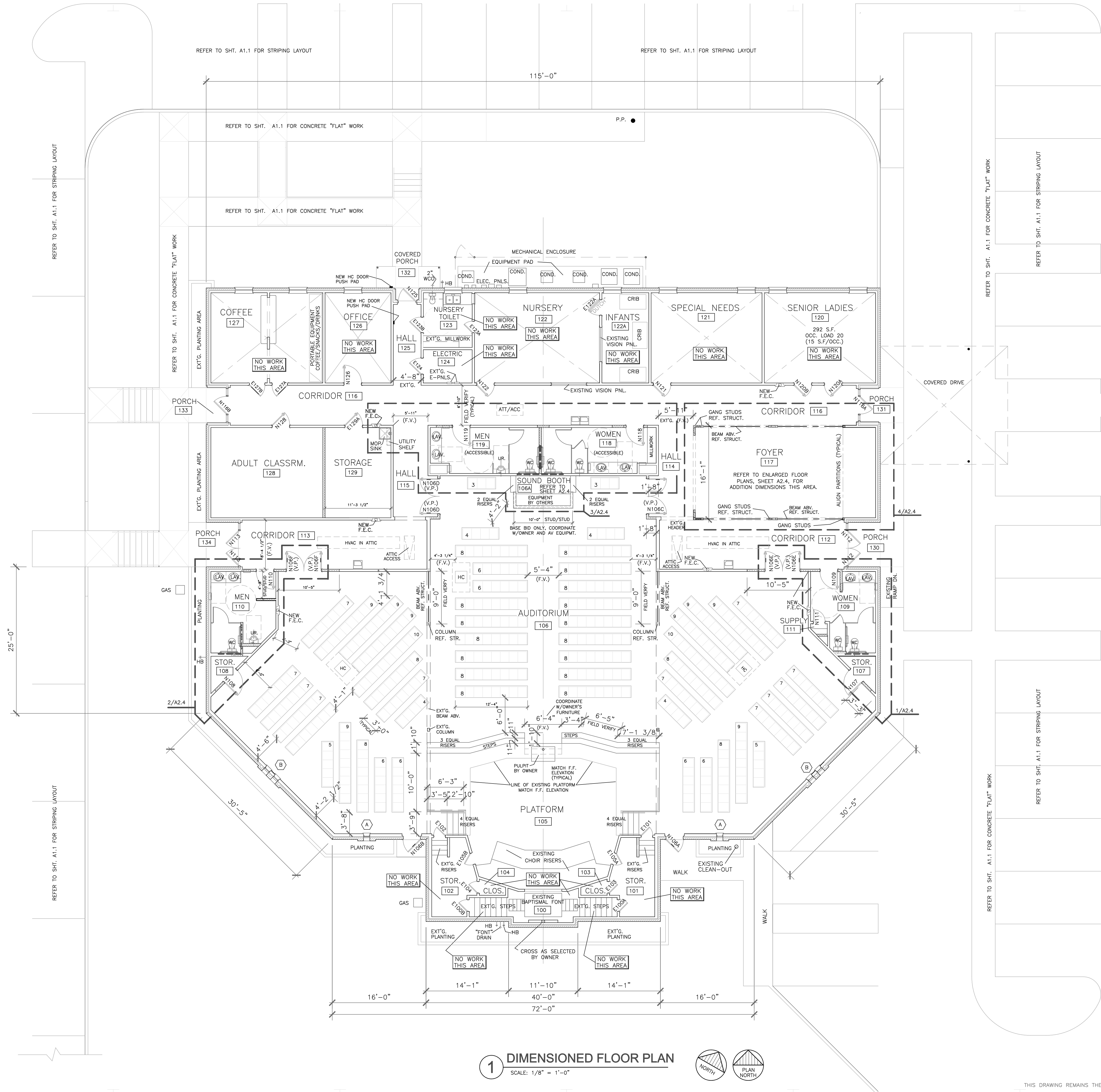
William K. Houpp, Architect, Inc.
816 Royal Terrace, Hurst, Texas 76053
Phone: (817) 590-9399 Fax: (817) 590-9309
e-mail: kimandkathy@sbglobal.net

REFERENCE FLOOR PLAN

RENOVATIONS for
CALVARY BAPTIST CHURCH
700 Woodard Ave., Cleburne, Texas, 76033

Proj. no. 21001
Drawn by: KH
Date: 08.03.22
Revision Number
Date

Sheet no.
A2.2



SYMBOLS LEGEND

ALL SYMBOLS
MAY NOT BE USED

ENTRY

ROOM NAME

XXXX

ROOM NUMBER (DOOR NO. SAME AS ROOM NO.)

1/AX.X

ELEVATION REFERENCE

1/AX.X

SHEET LOCATION NO.

1/AX.X

ELEVATION NUMBER

1/AX.X

SECTION/ DETAIL REFERENCE

1/AX.X

SHEET LOCATION NO.

1/AX.X

ELEVATION NUMBER

X

TOILET ACCESSORY, REFER TO SHEET A2.4
FOR ACCESSORY SCHEDULE

X

STOREFRONT / WINDOW (REFER TO A4.0)

GENERAL NOTES

1.

CONTRACTOR/SUB-CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BID.

2.

CONTRACTOR / SUB-CONTRACTORS SHALL COORDINATE WORK WITH OTHER TRADES PRIOR TO ROUGH-IN OF FIXTURES AND UTILITIES.

3.

CONTRACTOR / SUB-CONTRACTORS SHALL VERIFY EXISTING SPOT GRADES.

4.

CONTRACTOR/SUB-CONTRACTORS SHALL FIELD VERIFY ALL EQUIPMENT AND UTILITIES PRIOR TO START OF WORK.

5.

ALL NOTES AND MATERIAL INDICATIONS ARE TYPICAL AND TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.

6.

CONTRACTOR SHALL REMOVE ALL DEBRIS FROM FACILITY AND SITE AS REQUIRED BY THE CITY OF CLEBURNE, TEXAS.

7.

REFER TO SHEET A3.0 FOR ROOM FINISH SCHEDULE AND DOOR SCHEDULE.

8.

CONTRACTOR SHALL PROVIDE "SEDIMENT CONTROL" IN ACCORD WITH THE CITY OF CLEBURNE, TEXAS, ORDINANCES.

9.

BARRIERS AND FENCES:
CONTRACTOR SHALL PROVIDE/ERECT FENCING, BARRICADES, AND OTHER PROTECTION REQUIRED TO ENCLOSE THE CONSTRUCTION SITE AND PROVIDE PUBLIC PROTECTION. SUCH TEMPORARY PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF CLEBURNE, TEXAS, ORDINANCES AND CODES.
CONTRACTOR SHALL REMOVE BARRIERS AND FENCES AT THE CLOSE OF CONSTRUCTION ACTIVITIES.

10.

ADJACENT PROPERTY:
CONTRACTOR SHALL PROVIDE PROTECTION FOR ADJACENT PROPERTIES AND REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES.

11.

"PENT" LAYOUT SHOWN IS FOR "BID" PURPOSES ONLY. SUB-CONTRACTOR SHALL PROVIDE "SHOP DRAWINGS" FOR APPROVAL PRIOR TO START OF WORK.

12.

ALIGN NEW PARTITIONS WITH EXISTING PARTITIONS "TO REMAIN".

13.

REFER TO SHEET A2.4 FOR ADDITIONAL DIMENSIONS FOR: FOYER 127, AND TOILET, WOMEN 109, MEN 110, WOMEN 118, AND MEN 119.

14.

REFER TO SHEET A2.2 FOR "CHAIR RAIL" LOCATION AND NOTES.

NOTE: (WALK / RAMP / STEPS / PARKING)

REFER TO SHEET A1.1 FOR CONCRETE WALK, RAMPS, STEPS, PARKING, AND STRIPING LAYOUT.

PARTITION TYPES

	EXISTING EXTERIOR WALL
	EXISTING PARTITIONS, TO REMAIN.
	3 1/2" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD, EACH SIDE, TAPE, BED, TEXTURE, AND PAINT.
	WOOD BLOCKING, REFER TO DETAILS SHEET AX.X

1

DIMENSIONED FLOOR PLAN

SCALE: 1/8" = 1'-0"

OCCUPANCY GROUP: A-3

DIMENSIONED FLOOR PLAN

RENOVATIONS for
CALVARY BAPTIST CHURCH
700 Woodard Ave., Cleburne, Texas, 76033

Proj. no. 21001
Drawn by: KH
Date: 08.03.22
Revision Number
Date

Sheet no.
A2.3

THIS DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED IN ANY WAY WITHOUT HIS WRITTEN PERMISSION

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Architect:
William K. Houpp
Lic. no. 7937
Date: 08.03.22
Exp: 10.31.22


wkh


ALL SYMBOLS
MAY NOT BE USED


- ENTRY** — ROOM NAME

XXXX — ROOM NUMBER (DOOR NO. SAME AS ROOM NO.)

 ELEVATION REFERENCE
SHEET LOCATION NO.
ELEVATION NUMBER

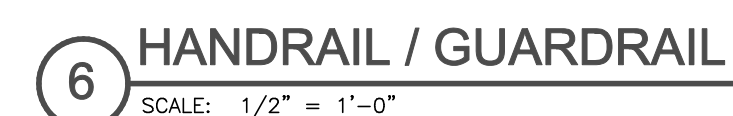
 SECTION/ DETAIL REFERENCE
SHEET LOCATION NO.
ELEVATION NUMBER

 — TOILET ACCESSORY. REFER TO SHEET A2.4 FOR ACCESSORY SCHEDULE

 — STOREFRONT / WINDOW (REFER TO A4.0)



"ALTERNATE BID" PAINTED WROUGHT IRON.



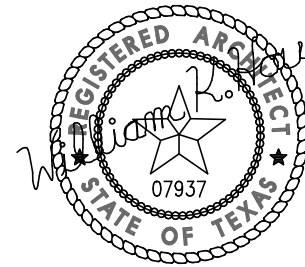
ENLARGED
PARTIAL FLOOR PLANS

SCALE: 1/4" = 1'-0" (UNLESS NOTED OTHERWISE)

Sheet no.
A2.4

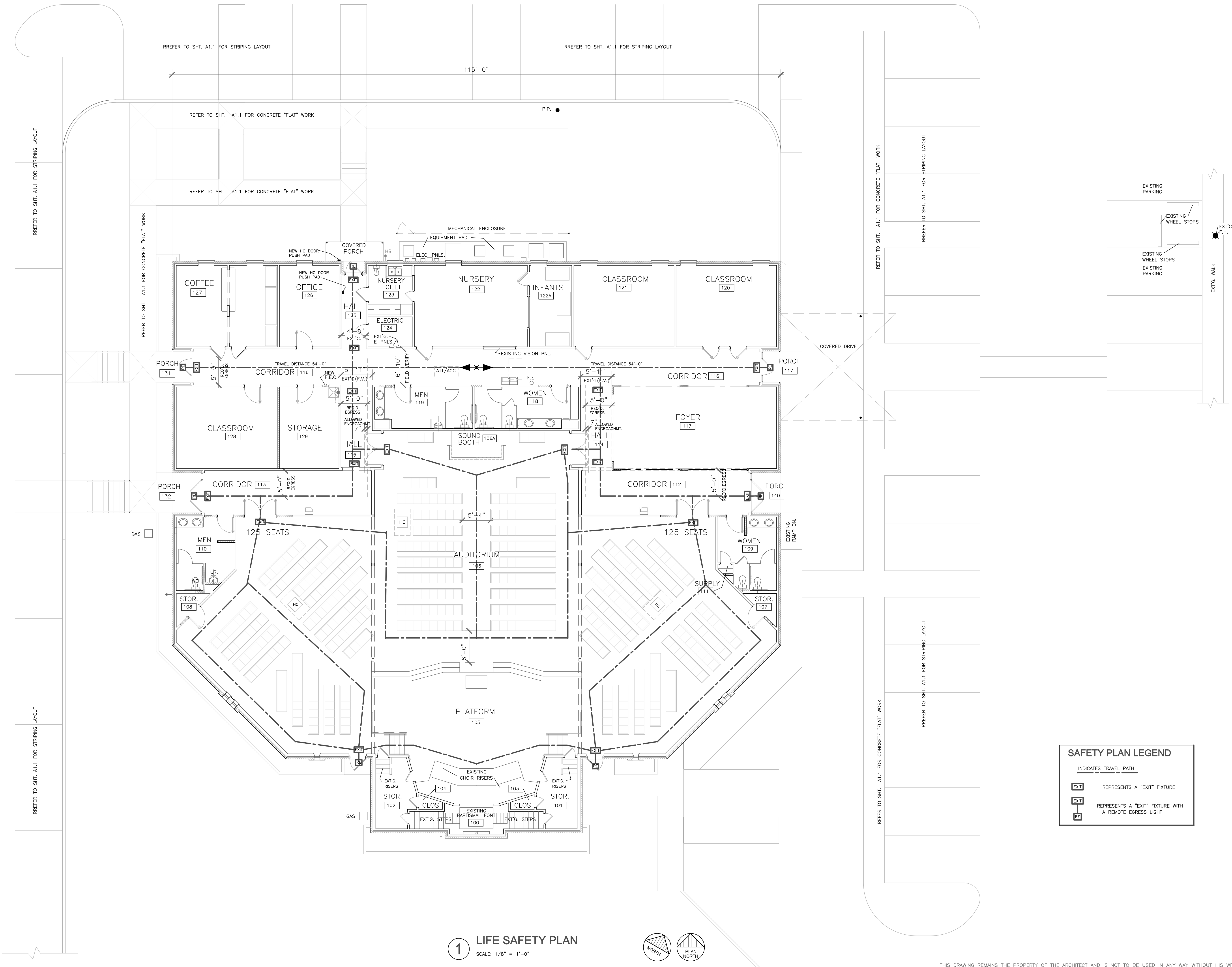
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LIFE SAFETY PLAN
**RENOVATIONS for
CALVARY BAPTIST CHURCH**
700 Woodard Ave., Cleburne, Texas, 76033

SAFETY PLAN LEGEND	
INDICATES TRAVEL PATH	
	REPRESENTS A "EXIT" FIXTURE
	REPRESENTS A "EXIT" FIXTURE WITH A REMOTE EGRESS LIGHT



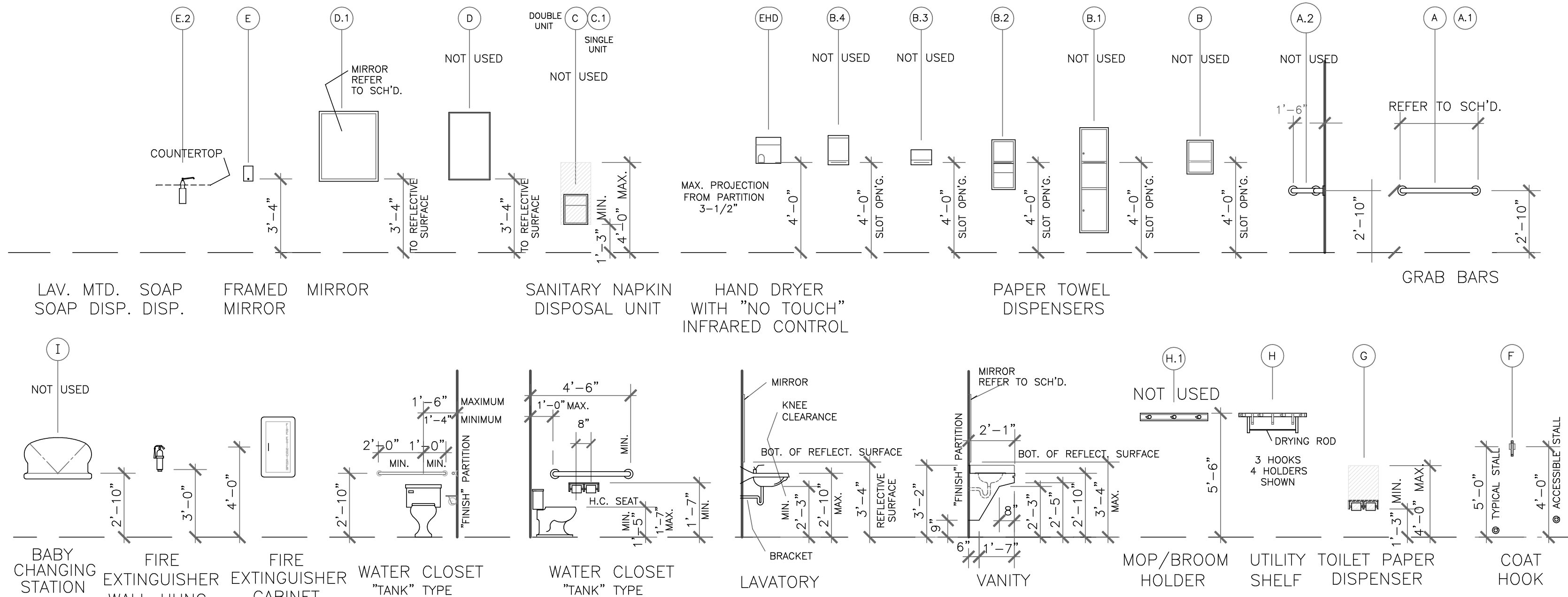
1 LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"



THIS DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED IN ANY WAY WITHOUT HIS WRITTEN PERMISSION

ACCESSORY MOUNTING HEIGHTS

NOT ALL ACCESSORIES USED



NOTE:
FIRE EXTINGUISHER CABINET SHALL BE EQUAL OF:
SEMI-RECESSED, STEEL FRAME, (2 1/2" TRIM),
W/ CLEAR GLASS DOOR ON CONTINUOUS
PIANO HINGE AS MFG. BY J.L. INDUSTRIES
FIRE EXTINGUISHERS SHALL BE:
MULTI-PURPOSE, DRY CHEMICAL TYPE, 10 LBS.
NOMINAL CAPACITY, AS REQUIRED BY THE CITY
OF CLEBURNE, TEXAS.

NOTE:
"FLUSH" HANDLE SHALL BE INSTALLED ON THE "WIDE"
SIDE OF THE ROOM OR ACCESSIBLE STALL, REFER
TO PLAN.

NOTE:
FIXTURES SHOWN ARE FOR MOUNTING REFERENCE HT.
ONLY AND DO NOT REPRESENT ACTUAL FIXTURE SIZE.
REFER TO MECHANICAL PLANS FOR FIXTURE MAKE,
MODEL, AND MANUFACTURER.

NOTE:
WRAP EXPOSED WATER LINES AND SANITARY
LINES WITH "JACKET" TYPE INSULATION BELOW
LAVATORIES AND SINKS.

ACCESSORY SCHEDULE

MARK	DESCRIPTION	TYPE	REMARKS
A	GRAB BAR-1 1/4" DIA.	832-SERIES X 36"	SAFETY-GRIP
A.1	GRAB BAR-1 1/4" DIA.	832-SERIES X 42"	SAFETY-GRIP
A.2	GRAB BAR-1 1/4" DIA. (NOT USED)	832-SERIES 18" X 30"	SAFETY-GRIP
B	PAPER TOWEL DISPENSER (NOT USED)	2441	SURFACE MOUNTED
B.1	PAPER TOWEL DISPENSER (NOT USED)	235	RECESSED
B.2	PAPER TOWEL DISPENSER	2291	RECESSED
B.3	PAPER TOWEL DISPENSER (NOT USED)	252	SURFACE MOUNTED
B.4	PAPER TOWEL DISPENSER	250-15	SURFACE MOUNTED
EHD	RECESS MOUNTED "NO-TOUCH" CONTROL MAXIMUM 3" PROJECTION	2870-28	RECESS MOUNTED OR APPROVED EQUAL
C	SANITARY NAPKIN DISPOSAL UNIT VERIFY W/OWNER (ALTERNATE) (NOT USED)	4721-15	DOUBLE UNIT PARTITION MTD.
C.1	SANITARY NAPKIN DISPOSAL UNIT VERIFY W/OWNER (ALTERNATE) (NOT USED)	4722-10-15	SINGLE UNIT PARTITION MTD.
D	FRAMED MIRROR "BASE BID"	781 18"x36"	MOUNT BOTTOM OF REFLECTIVE SURFACE 40" A.F.F.
D.1	FRAMED MIRROR (OWNER OPTION) REFER TO MOUNTING SCHEDULE	AS SELECTED BY OWNER	MOUNT BOTTOM OF REFLECTIVE SURFACE 40" A.F.F.
E	SOAP DISPENSER (NOT USED)	6562	VERTICAL MOUNTED
E.1	SOAP DISPENSER (6" SPOUT)	6326	LAVATORY MOUNTED SOAP DISPENSER
F	COAT HOOK	9134	SURFACE MOUNTED, REFER TO MTD. HTS. SCH'D. THIS SHEET
G	TOILET PAPER DISPENSER	5263-52	"NON-CONTROLLED DELIVERY"
H	UTILITY SHELF W/DRYING ROD	9985	4-HOOKS/5-HOLDERS
I	"CHANGING STATION" (NOT USED)	9601	SURFACE MOUNTED

GENERAL ACCESSORY NOTES

- "BRADLEY" MODEL NOS. SHOWN ARE FOR QUALITY REFERENCE ONLY AND NOT INTENDED TO LIMIT COMPETITIVE BIDDING.
- WALL MOUNTED DEVICES SHALL BE CAPABLE OF WITHSTANDING A SHEAR FORCE OF 250 LBS. AT ANY POINT IN ANY DIRECTION.
- INSULATE WATER AND SANITARY LINES EXPOSED BELOW LAVATORIES.
- IF ACCESSORY MODEL / MFG. NOS. SHOWN ARE SUBSTITUTED THE SUB-CONTRACTOR SHALL VERIFY AND COMPLY WITH ALL REQUIREMENTS FOR MATERIALS, FINISHES, STRENGTHS, AND MOUNTING HEIGHTS, WITH THE TEXAS ACCESSIBILITY STANDARDS, TEXAS GOVERNMENT CODE, EFFECTIVE MARCH 15, 2012.

GENERAL NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BID.
- CONTRACTOR/SUB-CONTRACTORS SHALL COORDINATE WORK WITH OTHER TRADES PRIOR TO ROUGH-IN OF FIXTURES AND UTILITIES.
- ALL NOTES AND MATERIAL INDICATIONS ARE TYPICAL AND APPLY TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.

SIGNAGE BID PACKAGE

NO.	TITLE	DOOR LOCATION
2	EXIT ONLY	106A, 106B
8	EXIT ONLY	106C(2), 106D(2) W/HC SYMBOLS 106E(2), 106F(2) W/HC SYMBOLS
2	WOMEN	109, 118
2	MEN	110, 119
1	COFFEE	127
1	NURSERY	122
1	SENIOR LADIES	120
1	SPECIAL NEEDS	121
1	ADULT CLASSROOM	128
1	JANITOR / STORAGE	129
1	OFFICE	126
1	NOT AN EXIT	123B
1	ELECTRIC	124
2	STORAGE	107, 108

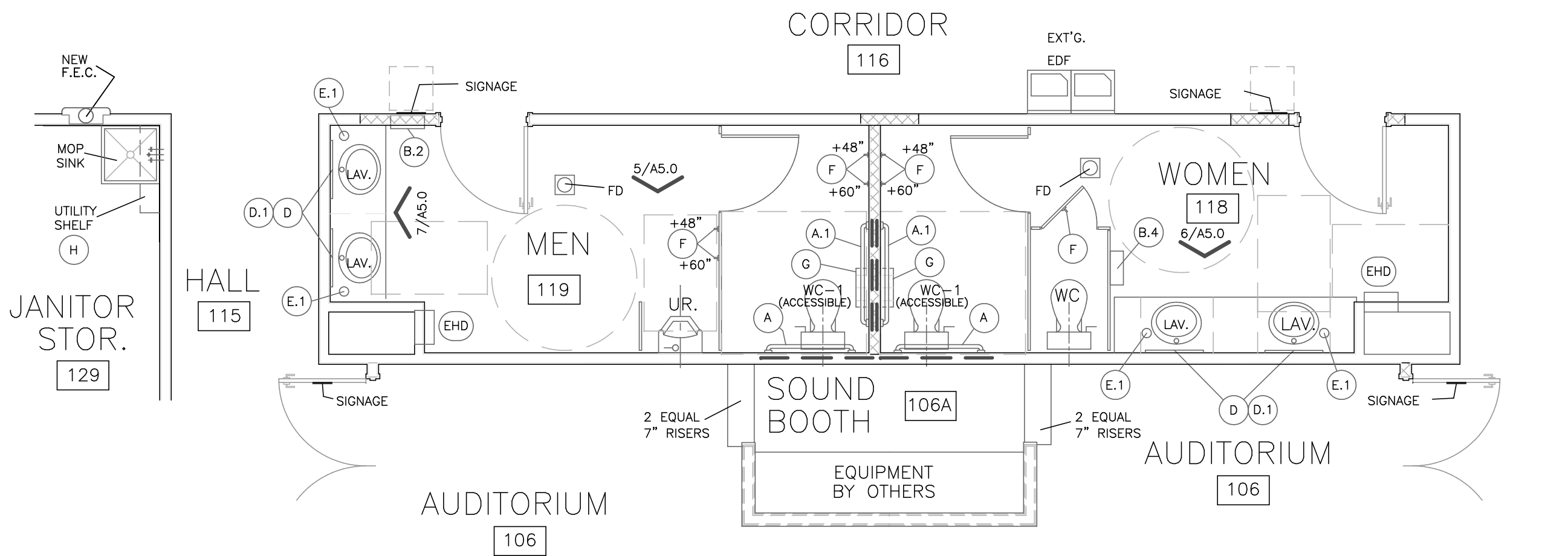
NOTES: VERIFY SIGNAGE BID PACKAGE WITH OWNER PRIOR TO PURCHASE.
SIGNAGE TO COMPLY WITH "ACCESSIBILITY STANDARDS".

TOILET SIGNAGE SHALL HAVE
APPROVED HANDICAPPED SYMBOLS:
"MEN" / "WOMEN"

SIGNAGE NOTES:

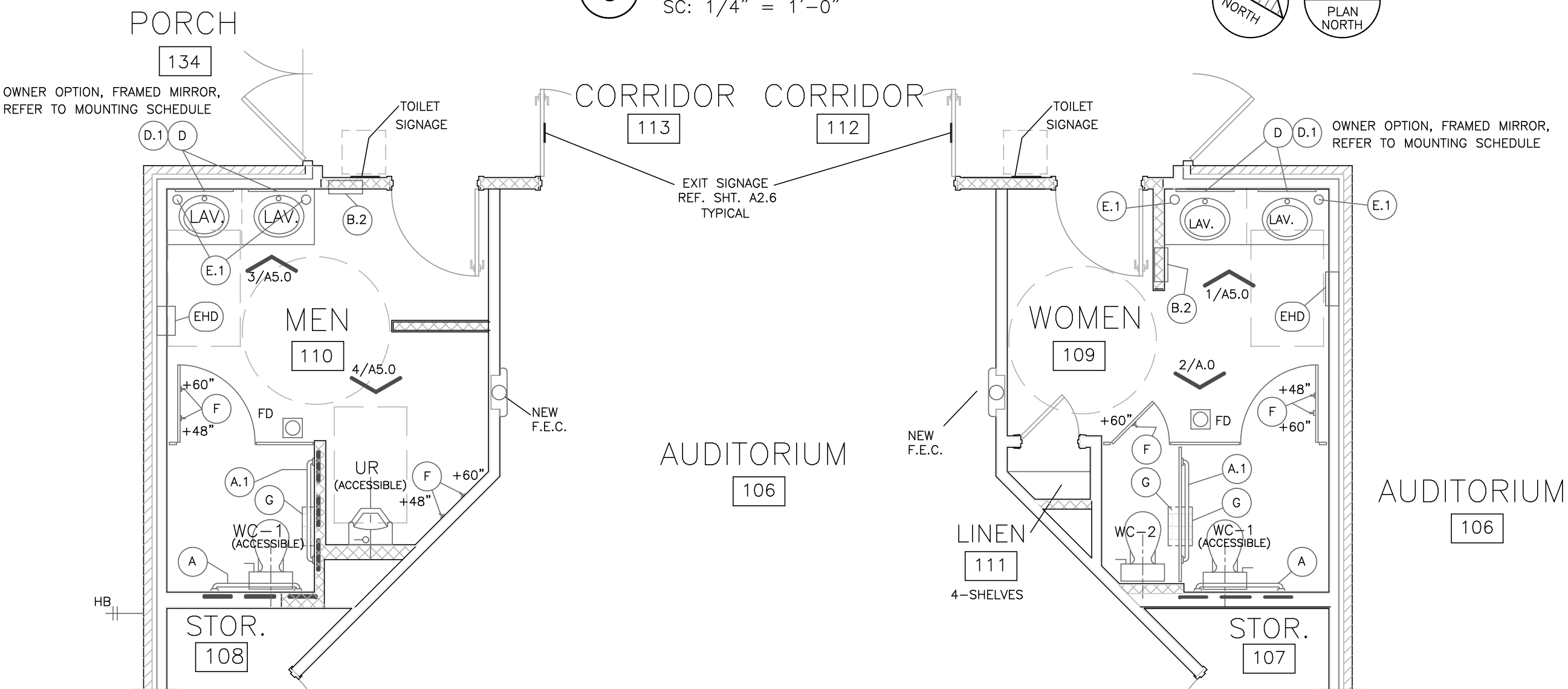
GENERAL

SIGNAGE AND SYMBOLS SHALL COMPLY WITH THE TEXAS ACCESSIBILITY STANDARDS, TEXAS GOVERNMENT CODE, CHAPTER 469, EFFECTIVE MARCH 15, 2012.
REFER TO SECTION 703 FOR T.A.S. REQUIREMENTS FOR:
RAISED CHARACTERS, DEPTH, CASE, STYLE, PROPORTIONS, HEIGHT, STROKE THICKNESS, CHARACTER SPACING, LINE SPACING, DIMENSIONS, FINISH / CONTRAST, CAPITALIZATION, AND BRAILLE.
REFER TO SECTION 703.4 FOR T.A.S. INSTALLATION REQUIREMENTS AND DETAIL 1, THIS SHEET.



6 WOMEN 118 / MEN 119 TOILETS

SC: 1/4" = 1'-0"



5 MEN 110

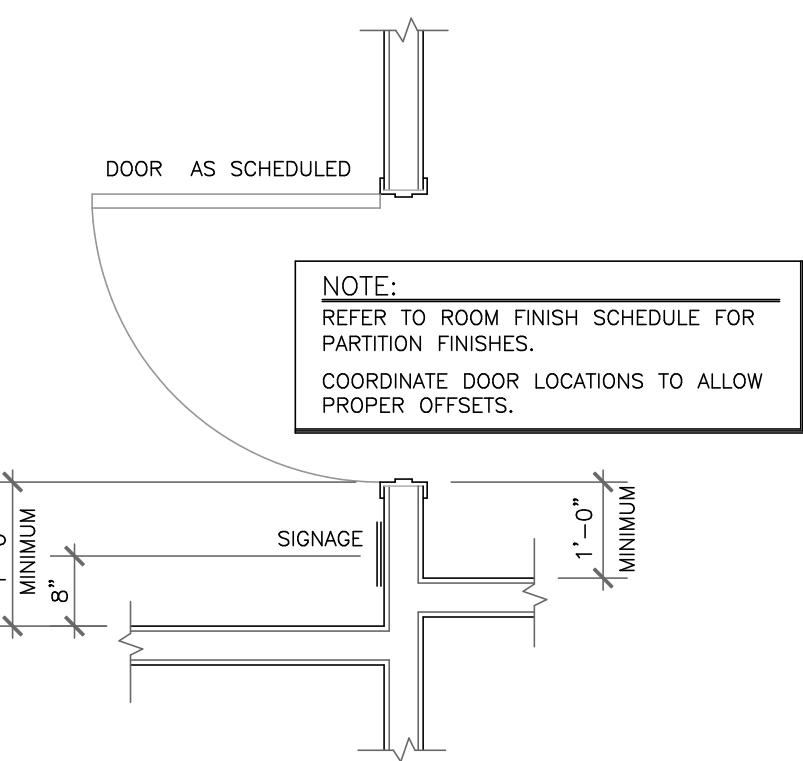
SC: 1/4" = 1'-0"

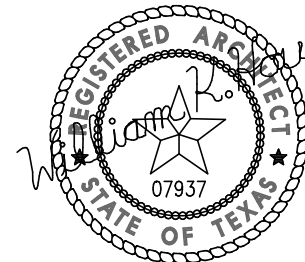
4 WOMEN 109

SC: 1/4" = 1'-0"

3 MOUNTING SUPPORT DETAILS

NO SCALE





ROOM FINISH SCHEDULE

NO.	ROOM	FLOOR	BASE	PARTITIONS				CEILING		REMARKS ASBO "AS SELECTED BY OWNER"	NO.
				N	E	S	W	MAT'L.	HT.		
100	BAPTISMAL FONT	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	NO WORK THIS ROOM	100
101	STORAGE	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	NO WORK THIS ROOM	101
102	STORAGE	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	NO WORK THIS ROOM	102
103	CLOSET	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	NO WORK THIS ROOM	103
104	CLOSET	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	EXT'G. TO REMAIN	NO WORK THIS ROOM	104
105	PLATFORM	CPT-1 / SQS.	RB-2	GB-1	GB-1	GB-1	GB-1	ACT-1	VARIES FIELD VERIFY	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	105
106	AUDITORIUM	CPT-1 / SQS.	RB-2	GB-1	GB-1	GB-1	GB-1	ACT-1	VARIES FIELD VERIFY	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	106
106A	SOUND BOOTH	CPT-1 / SQS.	RB-2	GB-1	GB-1	GB-1	GB-1	ACT-1	VARIES FIELD VERIFY	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	106A
107	STORAGE	CPT-1 / SQS.	RB-1	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	NO "CHAIR RAIL"	107
108	STORAGE	CPT-1 / SQS.	RB-1	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	NO "CHAIR RAIL"	108
109	WOMEN'S TOILET	CFT	CFT (COVE)	GB-2/CWT	GB-2/CWT	GB-2/CWT	GB-2/CWT	GB-2	8'-0"	MOISTURE RESISTANT GYP. BRD. REFER TO 1, 2/AS.O FOR WALL PATTERN	109
110	MEN'S TOILET	CFT	CFT (COVE)	GB-2/CWT	GB-2/CWT	GB-2/CWT	GB-2/CWT	GB-2	8'-0"	MOISTURE RESISTANT GYP. BRD. REFER TO 1/AS.O FOR WALL PATTERN (SIMILAR)	110
111	LINEN STORAGE	CFT	CFT (COVE)	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"		111
112	CORRIDOR	LVT	RB-1	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	112
113	CORRIDOR	LVT	RB-1	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	113
114	HALL	LVT	RB-1	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	114
115	HALL	LVT	RB-1	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	115
116	CORRIDOR	LVT	RB-1	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	116
117	FOYER	CPT-2	RB-2	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	PROVIDE 7/8" x 1-7/8" (WP-A / WP-400) SET TOP OF RAIL 36" A.F.F. (COLOR ASBO)	117
118	WOMEN'S TOILET	CFT	CFT (COVE)	GB-2/CWT	GB-2/CWT	GB-2/CWT	GB-2/CWT	GB-1	8'-0"	MOISTURE RESISTANT (MR) GYP. BRD.	118
119	MEN'S TOILET	CFT	CFT (COVE)	GB-2/CWT	GB-2/CWT	GB-2/CWT	GB-2/CWT	GB-1	8'-0"	MOISTURE RESISTANT (MR) GYP. BRD.	119
120	SENIOR LADIES, "TOUCH-UP"	EXT'G. TO REMAIN	EXT'G. TO REMAIN	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"		120
121	SPECIAL NEEDS, "TOUCH-UP"	EXT'G. TO REMAIN	EXT'G. TO REMAIN	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"		121
122	NURSERY, "TOUCH-UP"	EXT'G. TO REMAIN	EXT'G. TO REMAIN	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"		122
122A	INFANTS, NO WORK										122A
123	NURSERY TOILET	EXT'G. TO REMAIN	EXT'G. TO REMAIN	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"		123
124	ELECTRIC NO WORK										124
125	HALL	LVT	RB-1								125
126	OFFICE, "TOUCH-UP"	EXT'G. TO REMAIN	EXT'G. TO REMAIN					FRP			126
127	COFFEE, NO WORK										127
128	ADULT CLASSRM.	LVT	RB-1	RB-1	RB-1	RB-1	RB-1	RB-1	8'-0"		128
129	JANITOR / STORAGE	LVT	RB	GB-1	GB-1	GB-1	GB-1	GB-1	8'-0"	REFER TO PLAN FOR FRP LOCATION. TOUCH-UP AS REQ'D. (FIELD VERIFY)	129
130	PORCH	EXT'G. CONC.	EXT'G. TO REMAIN	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	TOUCH-UP AS REQ'D. (FIELD VERIFY)	130
131	PORCH	EXT'G. CONC.	EXT'G. TO REMAIN	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	TOUCH-UP AS REQ'D. (FIELD VERIFY)	131
132	PORCH	EXT'G. CONC.	EXT'G. TO REMAIN	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	TOUCH-UP AS REQ'D. (FIELD VERIFY)	132
133	PORCH	EXT'G. CONC.	EXT'G. TO REMAIN	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	TOUCH-UP AS REQ'D. (FIELD VERIFY)	133
134	PORCH	EXT'G. CONC.	EXT'G. TO REMAIN	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	EXT'G.	TOUCH-UP AS REQ'D. (FIELD VERIFY)	134

CEILING		
ACT-1	LAY-IN ACOUSTIC TILE	2x4, LAY-IN ACOUSTIC TILE, FINE FISSURED PATTERN, AS MANUFACTURED BY "ARMSTRONG" OR EQUAL.
GB	GYP-SUM BOARD	GYP-SUM BOARD, MATCH EXISTING THICKNESS, TAPE, BED, TEXTURE AND PAINT. BASE BID "ORANGE PEEL" TEXTURE.
ACCESSORIES / MISC.		
BULLNOSE	CERAMIC TILE BULLNOSE CAP	3"x12" CERAMIC TILE BULLNOSE "CAP", MATCH CERAMIC WALL TILE. COLOR SHALL BE AS SELECTED, BY OWNER, FROM MANUFACTURER'S STANDARD COLORS.
CTA	CERIMIC TILE ACCENT	4"x4" CERAMIC TILE ACCENT, MATCH CERAMIC WALL TILE. COLOR SHALL BE AS SELECTED, BY OWNER, FROM MANUFACTURER'S STANDARD COLORS.
TRNS-STP	TRANSITION STRIP	TRANSITION STRIPS, AS REQUIRED, AS MFG'D. BY "ROPPE", OR EQUAL. COLOR AS SELECTED, BY OWNER, FROM MANUFACTURER'S STANDARDS.
STAIR NOSING	STAIR NOSING	STAIR NOSING, AT PLATFORM STEPS, AS MFG'D. BY "ROPPE", OR EQUAL, COLOR AS SELECTED.

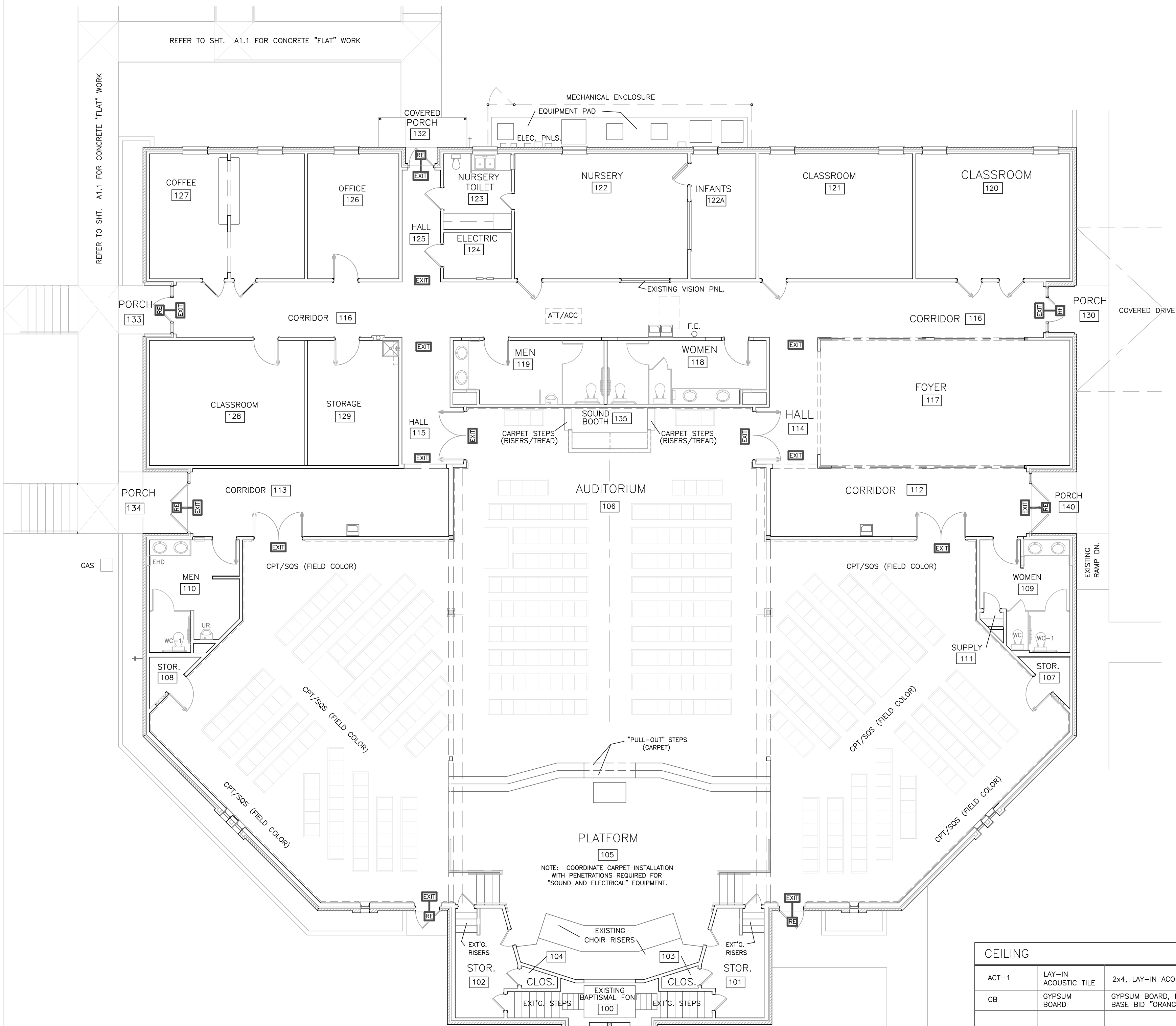
ROOM FINISH GENERAL NOTES

- MATERIALS AND FINISHES ARE FOR "BID" PURPOSES ONLY. VERIFY FINAL MATERIAL SELECTIONS AND COLOR SELECTIONS WITH OWNER PRIOR TO ORDERING ANY MATERIALS. RREFER TO 1/AS.O FOR TYPICAL PATTERN.
- GYP-SUM BOARD "TEXTURE", "ORANGE PEEL" IS FOR BID PURPOSES ONLY, FINAL TEXTURE SHALL BE AS SELECTED BY OWNER.
- ALL CARPET SHALL COMPLY WITH DOC FF-1 "PILL TEST", REFERENCE CODE 804.4.1.
- AUDITORIUM: REPAIR DAMAGE TO GYP-SUM BOARD AS A RESULT OF REMOVING "PANELING". REFER TO DEMOLITION PLAN, SHEET A2.1, 4.1. REPAIR DAMAGE TO GYP-SUM BOARD TO MAKE LIKE "NEW" CONDITIONS
- PROVIDE GB-2, (MOISTURE RESISTANT GB), TAPE, BED, TEXTURE, AND PAINT, ABOVE CERAMIC TILE BULLNOSE, TYPICAL.
- FINISH MATERIALS, TO THE GREATEST EXTENT POSSIBLE, SHALL BE MFG'D. IN THE UNITED STATES.
- REPAIR GYP-SUM BOARD, (TAPE, BED, TEXTURE AND PAINT), AS REQUIRED, (BOTH SIDES), WHERE CORRIDOR DOORS ARE TO BE ENLARGED.
1. CONTRACTOR SHALL VERIFY, WITH CONSTRUCTION MGR., NUMBER OF DOORS, EFFECTED, PRIOR TO BID.

ROOM FINISH SCHEDULE KEY

ABBREVIATION	DESCRIPTION	TECHNICAL DATA
FLOORING		
LVT	LUXURY VINYL TILE (PLANK)	"MOHAWK", PREMIUM WOOD LVT, 48"x7" x 20 MIL., LUXURY VINYL TILE, "PLANK" FLOORING. COLOR AS SELECTED BY OWNER FROM MFG'R'S. STANDARD SELECTIONS.
CPT-1	CARPET SQUARES	"MOHAWK", 24"x24" LEVEL LOOP, CARPET SQUARES, DIRECT GLUE DOWN, "MOHAWK, FLUX FOUNDATION" COLOR AND PATTERN AS SELECTED BY OWNER, FROM MFGR. STANDARDS. CONTRACTOR "MUST" CONTRACTOR "MUST" USE MANUFACTURES ADHESIVE TO MAINTAIN MFG'R'S. WARRANTY. (NO SUBSTITUTIONS)
CPT-2 "FOYER" [117]	CARPET SQUARES	"MOHAWK, DRIFTING CURRENT", BROAD LOOM. COLOR AS SELECTED BY OWNER FROM MFG'R'S. STANDARD COLORS. CONTRACTOR "MUST" USE MANUFACTURES ADHESIVE TO MAINTAIN MFG'R'S. WARRANTY. (NO SUBSTITUTIONS)
CFT	CERAMIC FLOOR TILE	12"x12" CERAMIC TILE, COLOR AS SELECTED BY OWNER FROM MFG'R'S. STANDARD COLORS. COEFFICIENT OF FRICTION SHALL BE EQUAL TO, OR GREATER THAN 0.89 DRY, AND 0.66 WET. "MOHAWK", 24"x24" LEVEL LOOP CARPET SQUARES, DIRECT GLUE DOWN, "MOHAWK, DRIFTING CURRENT", BROAD LOOM. (FIELD COLOR AND PATTERN AS SELECTED BY OWNER, FROM MFGR. STANDARDS. CONTRACTOR "MUST" USE MANUFACTURES ADHESIVE TO MAINTAIN MFG'R'S. WARRANTY. (NO SUBSTITUTIONS)
BASE		
RB-1	RUBBER BASE	4" HIGH COVED RUBBER/VINYL BASE. COLOR AS SELECTED BY OWNER FROM MFG'R'S. STANDARD COLORS.
RB-2	RUBBER BASE	6" HIGH COVED RUBBER/VINYL BASE. COLOR AS SELECTED BY OWNER FROM MFG'R'S. STANDARD COLORS.
CBT	CERAMIC BASE TILE	CERAMIC BASE TILE, COVED, MATCH CERAMIC WALL TILE, COLOR AS SELECTED BY OWNER
PARTITIONS		
GB-1	GYP-SUM BOARD	5/8" GYP-SUM BOARD, TAPE, BED, TEXTURE, (ORANGE PEEL), AND PAINT. (MATCH EXISTING GYP.BRD. THICKNESS) COLOR AS SELECTED BY OWNER.
GB-2	"MR" GYP-SUM GREEN BOARD	5/8", MOISTURE RESISTANT, GYP-SUM BOARD, TAPE, BED, TEXTURE, (ORANGE PEEL), AND PAINT. INSTALLED ABOVE CERAMIC TILE, COLOR AS SELECTED BY OWNER.
FRP	FIBERGLASS REINFORCED	EQUAL OF "GLASBORO" AS MANUFACTURED BY KEMLEITE, CRANE COMPOSITES, INC. PEBBLE FINISH, 48" HIGH, COLOR AS SELECTED BY OWNER, FROM MFG'R'S. STANDARD COLORS. PROVIDE. ALL TRIM PANELS REQUIRED FOR COMPLETE INSTALLATION. (ROOM 129, JANITOR STORAGE, ADJACENT TO FLOOR SINK)
CWT	CERAMIC WALL TILE	12"x12" CERAMIC TILE, COLOR AS SELECTED BY OWNER FROM MFG'R'S. STANDARD COLORS. GROUT COLOR AS SELECTED BY OWNER. REFER TO "ACCESSORIES" THIS SHEET FOR "BULLNOSE" TILE AND "ACCENT 4"x4" TILE.

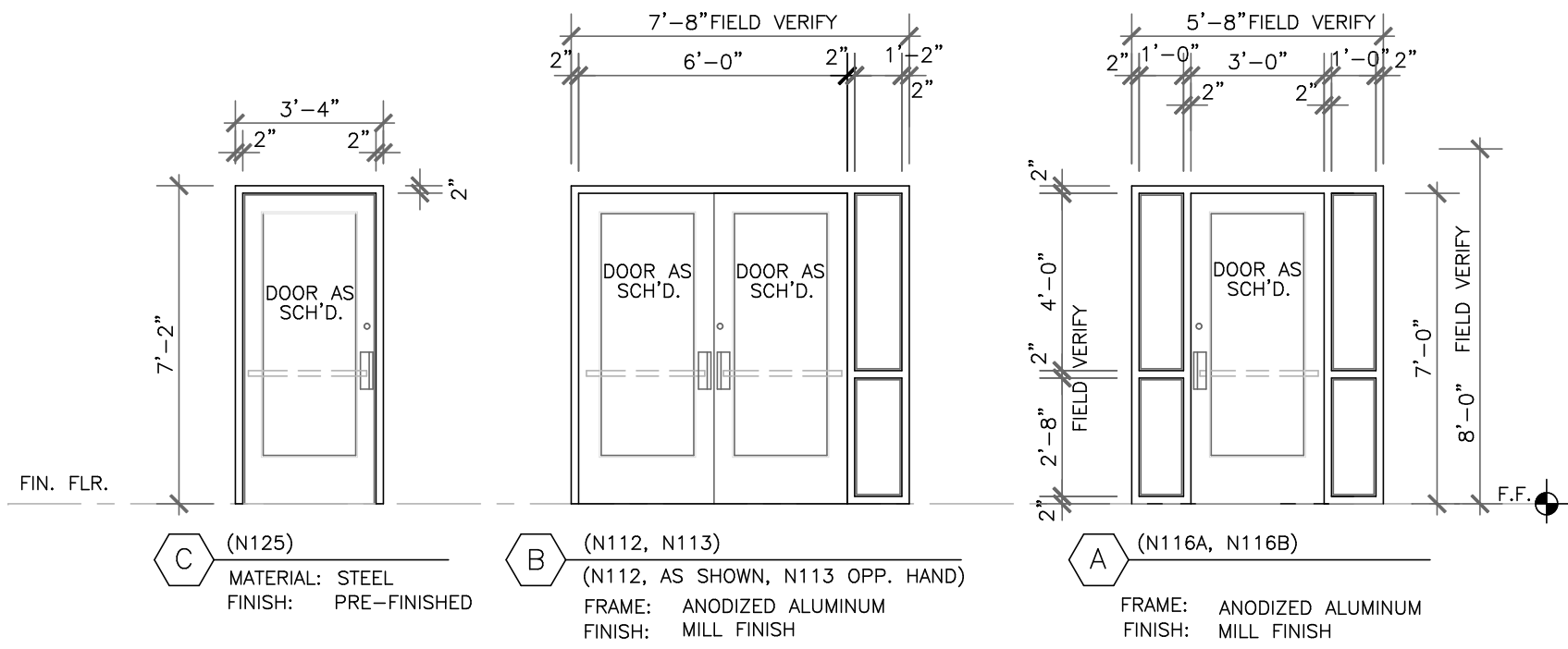
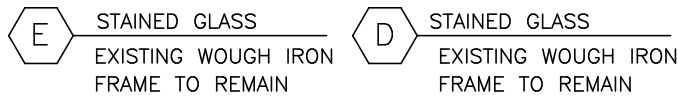
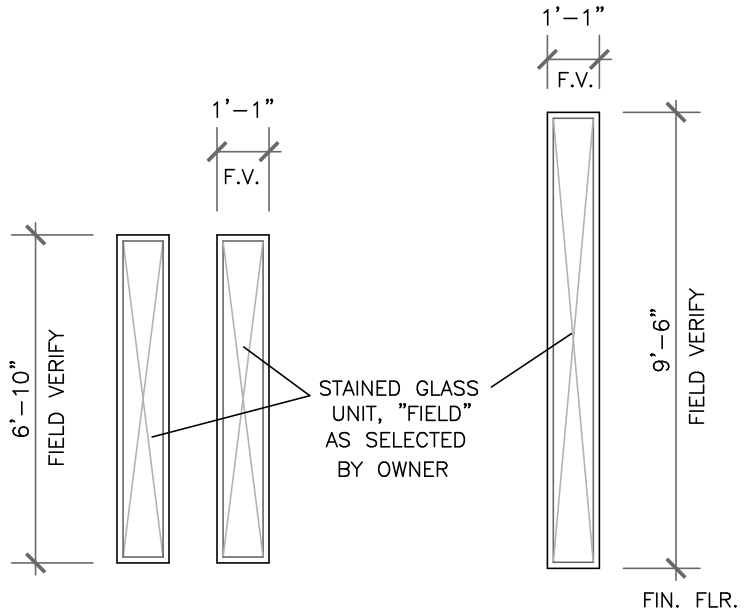
REFER TO SHT. A1.1 FOR CONCRETE "FLAT" WORK

1 ROOM FINISH FLOOR PLAN
SCALE: 1/8" = 1'-0"

THIS DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED IN ANY WAY WITHOUT HIS WRITTEN PERMISSION

STOREFRONT / WINDOW NOTES

1. CONTRACTOR SHALL FIELD MEASURE ALL ROUGH OPENINGS PRIOR TO FABRICATION OF STOREFRONTS
2. CONTRACTOR SHALL SUBMIT "SHOP" DRAWINGS, FOR APPROVAL BY OWNER
3. CONTRACTOR SHALL COORDINATE WITH THE OWNER THE FINAL "STAINED GLASS FIELD" COLORS AND PATTERN.



STOREFRONT/ WINDOW TYPES

H A R D W A R E S C H E D U L E

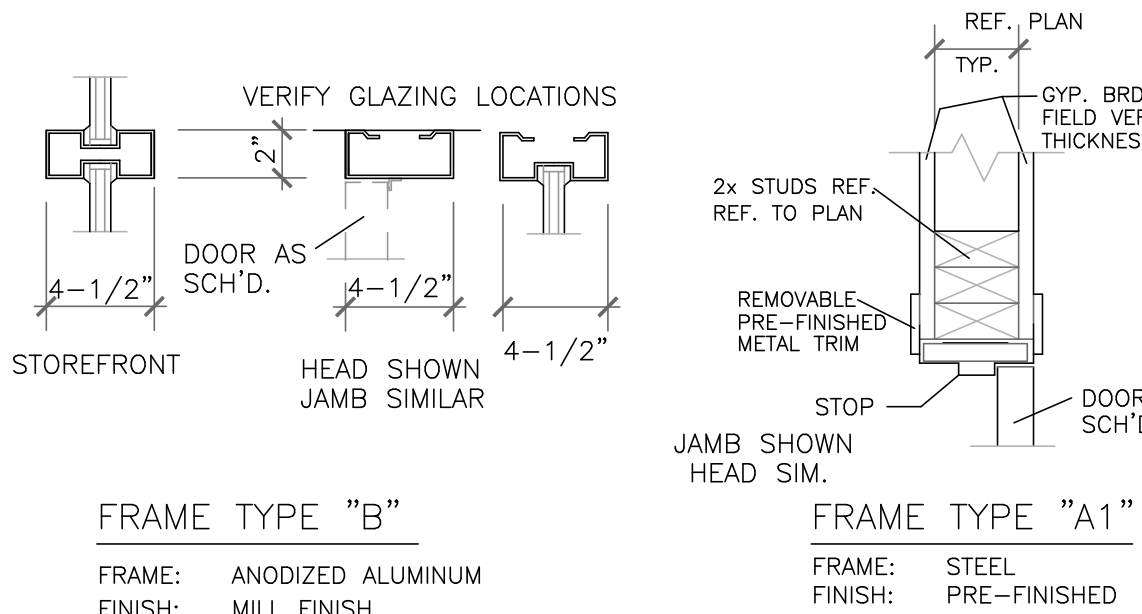
HW-1 (E100A, E100B) <hr/> EACH TO HAVE: 1 LOCKSET (LEVER HANDLE) 1 (KEYED FROM "DRESS'G. SIDE, ALWAYS UNLOCKED FROM STAIR SIDE) 1 SET OF SILCERS (BALANCE OF EXT'G. HARDWARE TO REMAIN)	HW-8 (N112, N113) <hr/> (DOUBLE STOREFRONT DOORS) EACH TO HAVE: 2 SETS KNUCKLE HINGES 1 CYLINDER LOCK 1 FLUSH BOLT 2 CLOSERS 2 EXIT DEVICES 1 SET "PUSH-PULLS" 1 SET WEATHER STRIPPING 1 THRESHOLD (SADDLE W/SWEEP)
HW-2 (E101, E102, E105A, E105B) <hr/> EACH TO HAVE: 1 LATCHSET (LEVER HANDLE) 1 CLOSER 1 SET OF SILCERS (BALANCE OF EXT'G. HARDWARE TO REMAIN)	HW-9 (N116A, N116B) <hr/> (SINGLE STOREFRONT DOOR) EACH TO HAVE: 1 SET KNUCKLE HINGES (BOT. MID., TOP) 1 CYLINDER LOCK 1 CLOSERS 1 EXIT DEVICES 1 SET "PUSH-PULLS" 1 SET WEATHER STRIPPING 1 THRESHOLD (SADDLE W/SWEEP)
HW-3 (E103, E104) <hr/> EACH TO HAVE: 1 LATCHSET (LEVER HANDLE) (BALANCE OF EXT'G. HARDWARE TO REMAIN)	HW-10 (N120A, N120B, N121, N128) <hr/> EACH TO HAVE: 1-1/2 PAIR BUTTS 1 LATCHSET (LEVER HANDLE) 1 CLOSER 1 SET SILCERS
HW-4 (N106A, N106B) <hr/> EACH TO HAVE: (EXT'G. FRAME AND TRIM TO REMAIN) 1-1/2 PAIR BUTTS 1 CYLINDER LOCK 1 EXIT DEVICE 1 CLOSER (110 deg.) 1 PULL 1 PEEP HOLE 1 THRESHOLD (SADDLE) 1 SET WEATHER STRIPPING 1 VINYL SWEEP 1 DRIP CAP	HW-11 (N125) <hr/> (SINGLE STOREFRONT) EACH TO HAVE: 1 SET KNUCKLE HINGES (BOT. MID., TOP) 1 CYLINDER LOCK 1 CLOSER 1 EXIT DEVICE 1 PULL MFR. STAND 2 "ACCESSIBLE" PUSH-PADS FOR ACCESSED ENTRY/EGRESS 1 SET WEATHER STRIPPING
HW-5 (N106C, N106D, N106E, N106F) <hr/> EACH PAIR TO HAVE: (DOUBLE DOORS) 3 PAIR BUTTS	

2	SETS "PUSH-PULLS"	HW-12 (N122, N126)
2	SET SILENCERS	
2	WALL STOPS (N106C, N106D)	
2	"KICK-PLATES" (L.A.S. APPROVED)	
2	"WIND PANELS" (100 S.F. MAX.)	EACH TO HAVE;
2	SAFETY AND GLAZING AND AREA	1 1-1/2 PAIR BUTTS
	AS REQ'D. BY CITY OF CLEBURNE.	1 LOCKSET, (LEVER HANDLE)
		1 CLOSER
		1 SET SILENCERS
HW-6 (N107, N108, N111)		
	EACH TO HAVE;	
1 1-1/2	PAIR BUTTS	
1	LATCH SET (LEVER HANDLE)	
1	CLOSER (N107, N108, ONLY)	
1	SET SILENCERS	
HW-7 (N109, N110, N118, N119)		
	EACH TO HAVE;	
1 1-1/2	PAIR BUTTS	
1	LOCKSET, (LEVER HANDLE)	
	(JANITOR STORAGE)	
1	CLOSER	
1	SET SILENCERS	

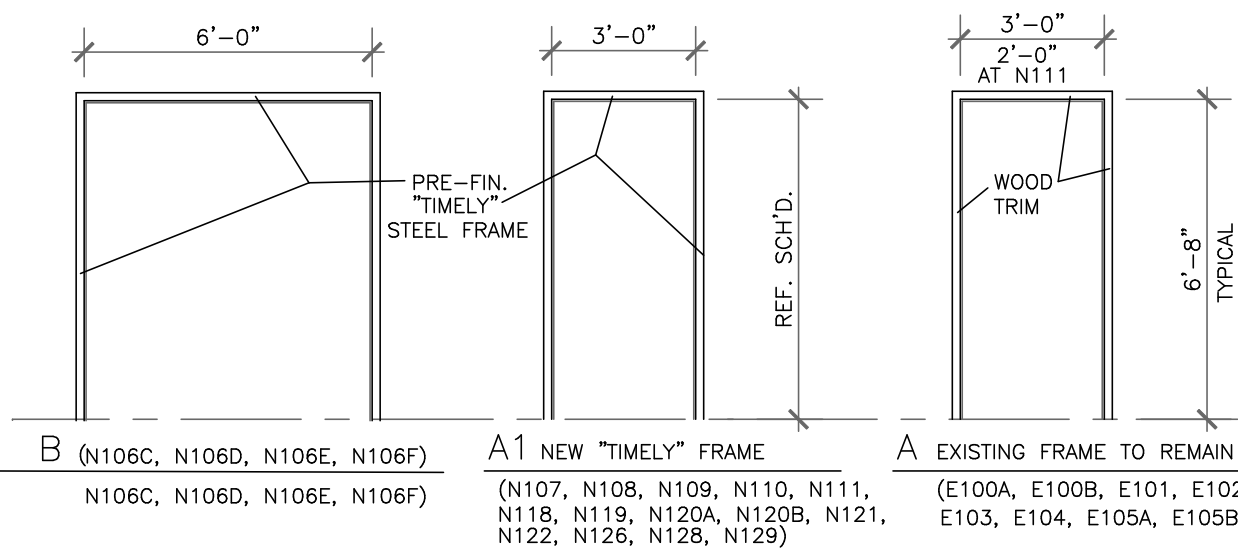
1	1-1/2 PAIR BUTTS	HW-14	(E127A, E127B)	(EXT'G. DOOR)
1	CLOSER			
1	WALL STOP (N109, N110)	EACH TO HAVE:		
1	OH STOP (N118, N119)	1	CLOSER	
1	SET "PUSH-PULLS"	1	LATCHSET (LEVER HANDLE)	
1	SET SILENCERS	1	SET SILENCERS	
1	VINYL REDUCER STRIP		(BALANCE OF EXT'G. HARDWARE TO REMAIN)	

INTENT OF SCHEDULE

1. HARDWARE SCHEDULE IS INTENDED TO ESTABLISH HARDWARE FUNCTIONS FOR BASE BID PURPOSES ONLY.
2. VERIFY "FINAL" HARDWARE FUNCTIONS WITH OWNER AND CONSTRUCTION MGR. PRIOR TO ORDERING MATERIALS



FRAME DETAILS



NOTES:

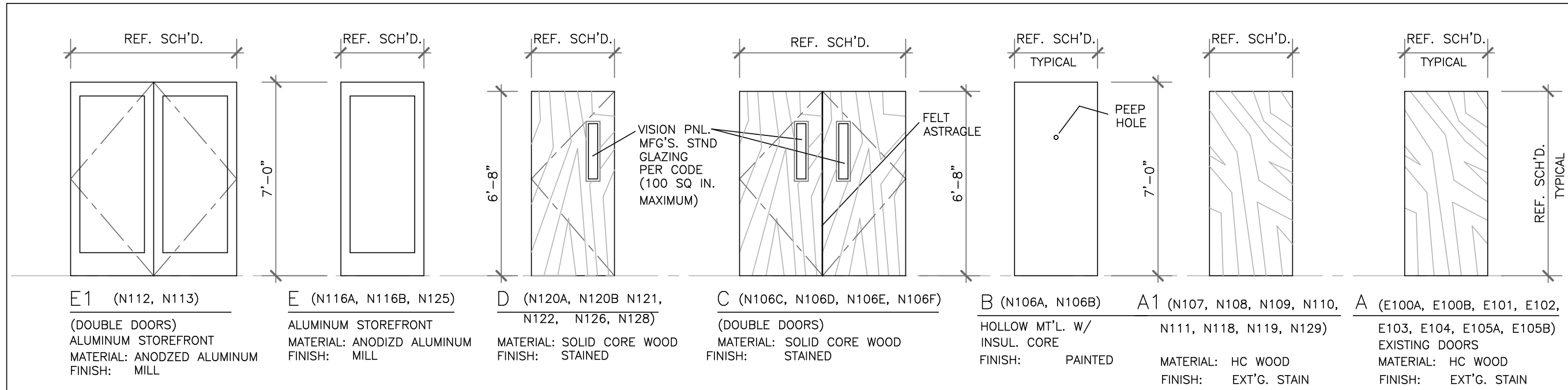
1. DOORS N106A AND N106B FRAMES TO REMAIN. CONTRACTOR SHALL VERIFY AND REPAIR ANY EXISTING DAMAGE AND RE-PAINT FRAMES.
2. NO WORK IS SCHEDULED FOR DOORS AND/OR TRIM FOR DOORS E122A, E123A, E123B, E124, E127A, AND E127B.

FRAME TYPES

D O O R S C H E D U L E

DOOR CONTRACTOR SHALL VERIFY EXISTING HARDWARE
SCHEDULED TO REMAIN MEETS CODE REQUIREMENTS
AND OPERATES PROPERLY

DOOR NO.	DOOR LABEL	DOOR/OPN'G. SIZE			DOOR TYPE	DOOR MAT'L.	FRAME TYPE	FRAME MAT'L.	DETAILS			REFER TO SHEET A4.0 FOR DETAILS, U.N.O.	HDWR. SET	REMARKS 1. VERIFY ALL FINISHES AND STAINS WITH OWNER, 2. BRUSHED NICKLE FINISH, TYPICAL 3. METAL FRAMES SHALL BE "TIMELY" OR EQUAL	
		WIDTH	HEIGHT	THICKNESS					HEAD	JAMB	SILL				
100	—	NOT USED (BAPTISMAL FONT— NO DOOR)									—	—	NOT USED (BAPTISMAL FONT— NO DOOR)	100	
E100A	—	2'-0"	6'-8"	1-3/8"	A (EXT'G.)	HC WD.(EXT'G.)	A (EXT'G.)	WD (EXISTING)	EXT'G. TO REMAIN		—	HW-1	E100A		
E100B	—	2'-0"	6'-8"	1-3/8"	A (EXT'G.)	HC WD.(EXT'G.)	A (EXT'G.)	WD (EXISTING)	EXT'G. TO REMAIN		—	HW-1	E100B		
E101	—	2'-0"	6'-8"	1-3/8"	A (EXT'G.)	HC WD.(EXT'G.)	A (EXT'G.)	WD (EXISTING)	EXT'G. TO REMAIN		—	HW-2	E101		
E102	—	2'-0"	6'-8"	1-3/8"	A (EXT'G.)	HC WD.(EXT'G.)	A (EXT'G.)	WD (EXISTING)	EXT'G. TO REMAIN		—	HW-2	E102		
E103	—	2'-0"	6'-8"	1-3/8"	A (EXT'G.)	HC WD.(EXT'G.)	A (EXT'G.)	WD (EXISTING)	EXT'G. TO REMAIN		—	HW-3	E103		
E104	—	2'-0"	6'-8"	1-3/8"	A (EXT'G.)	HC WD.(EXT'G.)	A (EXT'G.)	WD (EXISTING)	EXT'G. TO REMAIN		—	HW-3	E104		
E105A	—	2'-0"	6'-8"	1-3/8"	A (EXT'G.)	HC WD.(EXT'G.)	A (EXT'G.)	WD (EXISTING)	EXT'G. TO REMAIN		—	HW-2	E105A		
E105B	—	2'-0"	6'-8"	1-3/8"	A (EXT'G.)	HC WD.(EXT'G.)	A (EXT'G.)	WD (EXISTING)	EXT'G. TO REMAIN		—	HW-2	E105B		
N106A	—	3'-0"	7'-0"	1-3/4"	B	HM STEEL W/ INSUL. CORE	EXT'G. TO REMAIN FIELD VERIFY	EXISTING FRAME AND TRIM	EXT'G. TO REMAIN	T-1	HW-4	EXT'G. FRAME TO REMAIN, (FIELD VERIFY)	N106A		
N106B	—	3'-0"	7'-0"	1-3/4"	B	HM STEEL W/ INSUL. CORE	EXT'G. TO REMAIN FIELD VERIFY	EXISTING FRAME AND TRIM	EXT'G. TO REMAIN	T-1	HW-4	EXT'G. FRAME TO REMAIN, (FIELD VERIFY)	N106B		
N106C	—	2-3'-0"	6'-8"	1-3/4"	C	SC WOOD W/ VISION PANELS'	B	METAL PRE-FINISHED	REFER TO FRAME TYPE B	TRANSITION STRIP	HW-5	REF. REMARK 3.	N106C		
N106D	—	2-3'-0"	6'-8"	1-3/4"	C	SC WOOD W/ VISION PANELS'	B	METAL PRE-FINISHED	REFER TO FRAME TYPE B	TRANSITION STRIP	HW-5	REF. REMARK 3.	N106D		
N106E	—	2-3'-0"	6'-8"	1-3/4"	C	SC WOOD W/ VISION PANELS'	B	METAL PRE-FINISHED	REFER TO FRAME TYPE B	TRANSITION STRIP	HW-5	REF. REMARK 3.	N106E		
N106F	—	2-3'-0"	6'-8"	1-3/4"	C	SC WOOD W/ VISION PANELS'	B	METAL PRE-FINISHED	REFER TO FRAME TYPE B	TRANSITION STRIP	HW-5	REF. REMARK 3.	N106F		
N107	—	3'-0"	6'-8"	1-3/4"	A1	SC WOOD	A	METAL PRE-FINISHED	REFER TO FRAME TYPE A1	—	HW-6	REF. REMARK 3.	N107		
N108	—	3'-0"	6'-8"	1-3/4"	A1	SC WOOD	A	METAL PRE-FINISHED	REFER TO FRAME TYPE A1	—	HW-6	REF. REMARK 3.	N108		
N109	—	3'-0"	6'-8"	1-3/4"	A1	SC WOOD	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE A1	—	HW-7	REF. REMARK 3.	N109		
N110	—	3'-0"	6'-8"	1-3/4"	A1	SC WOOD	A	METAL PRE-FINISHED	REFER TO FRAME TYPE A1	—	HW-7	REF. REMARK 3.	N110		
N111	—	2'-0"	6'-8"	1-3/4"	A1	SC WOOD	A	METAL PRE-FINISHED	REFER TO FRAME TYPE A1	—	HW-6	REF. REMARK 3.	N111		
E112	—	2-3'-0"	7'-0"	1-3/4"	E1	ANODIZED ALUM. & GLAZING	B STOREFRONT	ALUMINUM	REFER TO FRAME TYPE DET. B	—	HW-8	E112			
E113	—	2-3'-0"	7'-0"	1-3/4"	E1	ANODIZED ALUM. & GLAZING	B STOREFRONT	ALUMINUM	REFER TO FRAME TYPE DET. B	—	HW-8	E113			
114	—	NOT USED											NOT USED	114	
115	—	NOT USED											NOT USED	115	
E116A	—	3'-0"	7'-0"	1-3/4"	E	ANODIZED ALUM. & GLAZING	A STOREFRONT	ALUMINUM	REFER TO FRAME TYPE DET. B		HW-9	E116A			
E116B	—	3'-0"	7'-0"	1-3/4"	E	ANODIZED ALUM. & GLAZING	A STOREFRONT	ALUMINUM	REFER TO FRAME TYPE DET. B		HW-9	E116B			
117	—	NOT USED											NOT USED	117	
N118	—	3'-0"	6'-8"	1-3/4"	A1	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A	—	HW-7	N118			
N119	—	3'-0"	6'-8"	1-3/4"	A1	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A	—	HW-7	N119			
N120A	—	3'-0"	6'-8"	1-3/4"	D	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A	—	HW-10	N120A			
N120B	—	3'-0"	6'-8"	1-3/4"	D	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A	—	HW-10	N120B			
N121	—	3'-0"	6'-8"	1-3/4"	D	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A	—	HW-10	N121			
N122	—	3'-0"	6'-8"	1-3/4"	D	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A	—	HW-12	N122			
N122A	—	EXISTING DOOR, NO WORK THIS DOOR											NO WORK THIS DOOR	N122A	
E123A	—	EXISTING DOOR, NO WORK THIS DOOR											NO WORK THIS DOOR	E123A	
E123B	—	EXISTING DOOR, NO WORK THIS DOOR											NO WORK THIS DOOR	E123B	
E124	—	EXISTING DOOR, NO WORK THIS DOOR											NO WORK THIS DOOR	E124	
E125	—	3'-0"	7'-0"	1-3/4"	E	ANODIZED ALUM. & GLAZING	A STOREFRONT	ALUMINUM	REFER TO FRAME TYPE DET. A		HW-11	E125			
N126	—	3'-0"	6'-8"	1-3/4"	D	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A1	—	HW-12	N126			
N127A	—	EXISTING DOOR			(EXTG.) DIVIDED LT.	SC WD./GLASS	EXT'G.	EXT'G.	EXT'G. HARDWARE TO REMAIN	—	HW-14	EXT'G. HARDWARE TO REMAIN (ADD CLOSER)	N127A		
N127B	—	EXISTING DOOR			(EXTG.) DIVIDED LT.	SC WD./GLASS	EXT'G.	EXT'G.	EXT'G. HARDWARE TO REMAIN	—	HW-14	EXT'G. HARDWARE TO REMAIN (ADD CLOSER)	N127B		
N128	—	3'-0"	6'-8"	1-3/4"	D	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A	—	HW-10	N128			
N129	—	3'-0"	6'-8"	1-3/4"	A1	SC WD.	A1	METAL PRE-FINISHED	REFER TO FRAME TYPE DET. A	—	HW-13	N129			
130	—	PORCH, NO DOOR											PORCH, NO DOOR	130	
131	—	PORCH, NO DOOR											PORCH, NO DOOR	131	
132	—	PORCH, NO DOOR											PORCH, NO DOOR	132	
133	—	PORCH, NO DOOR											PORCH, NO DOOR	133	
134	—	PORCH, NO DOOR											PORCH, NO DOOR	134	
135	—	SOUND BOOTH NO DOOR											PORCH, NO DOOR	135	

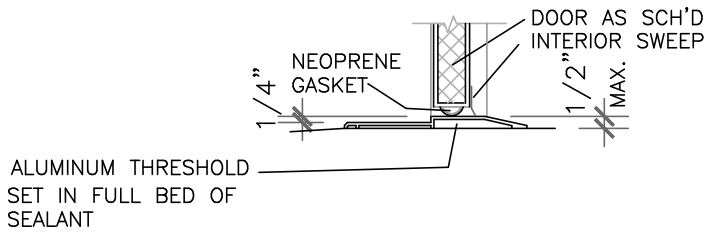


DOOR TYPES

GENERAL DOOR NOTES

- | | |
|---|--|
| <p>1. CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BID.</p> <p>2. DOOR NUMBER TO BE THE SAME AS ROOM NUMBER.
ROOMS WITH MULTIPLE DOORS, DOORS FURTHER DESIGNATED WITH A LETTER.</p> <p>3. REFER TO DOOR SCHEDULE, THIS SHEET, FOR DOOR: TYPE, SIZE, (WIDTH, HEIGHT, THICKNESS), AND MATERIAL.</p> <p>4. REFER TO "FRAME TYPE", THIS SHEET, FOR DOOR FRAMES, STYLE AND MATERIALS.</p> <p>5. ALL HARDWARE FOR DOORS N106A, N106B, N112, N113, N16A, N116B, AND N125, SHALL COMPLY WITH T.S.A. STANDARDS FOR THE ELIMINATION OF ARCHITECTURAL BARRIERS ACT, 2021 EDITION.</p> <p>6. PROVIDE FULL WEATHER STRIPPING AT ALL EXTERIOR DOORS.</p> <p>7. COORDINATE AND KEY LOCKSETS, PER OWNERS INSTRUCTIONS, PRIOR TO PURCHASE.</p> <p>8. FINISH HARDWARE FOR BASE BID SHALL BE BMHA US26D.
VERIFY FINISH WITH OWNER PRIOR TO ORDERING MATERIALS.</p> <p>9. MAXIMUM RISE OF ALL THRESHOLDS/SADDLES, AND TRANSITION STRIPS, SHALL BE 1/2".</p> <p>10. ALL THRESHOLDS, (AND EXTERIOR "SADDLES") SHALL BE SET IN A "FULL BED" OF SEALANT.</p> | <p>11. "KEYING"</p> <p>ALL LOCKS SHALL BE FACTORY KEYED TO "BEST" KEY, AS PER OWNER'S INSTRUCTION "MASTER SYSTEM"</p> <p>VERIFY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.</p> <p>CYLINDERS SHALL BE "BEST", REMOVABLE CORE.</p> <p>12. CONTRACTOR SHALL SUBMIT "SHOP DRAWINGS"/"SPECIFICATIONS" AND "CUT SHEETS" PRIOR TO PURCHASE.</p> <p>13. CONTRACTOR SHALL SUBMIT A HARDWARE "ALLOWANCE" WITH BID.</p> <p>14. REFER TO GENERAL DEMOLITION NOTES, SHEET A/2-1, NOTE GN-1 "ALTERNATE GN-1A FOR STAINED GLASS WINDOW NOTES.</p> |
|---|--|

THRESHOLD

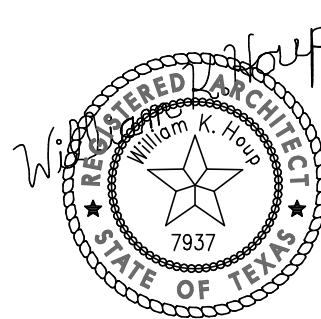


T-1 "HC ACCESSIBLE"

wkh

Architect:
William K. Houpp
Lic. no. 7937

Date: 08.03.22
Exp: 10.31.22



William K. Houp, Architect, Inc.

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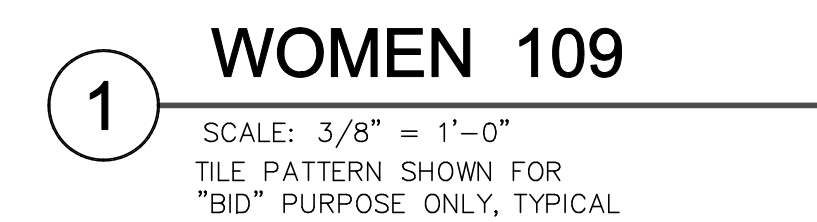
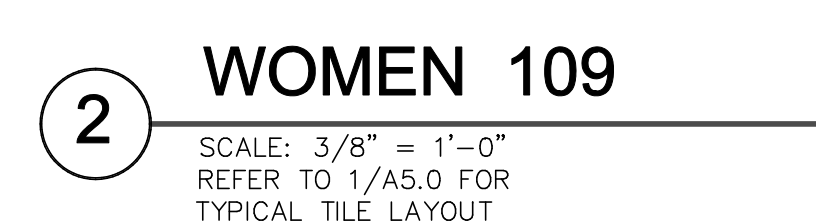
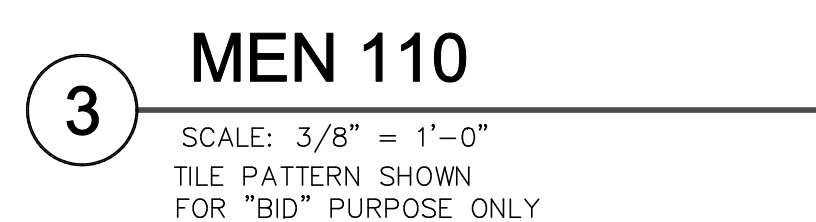
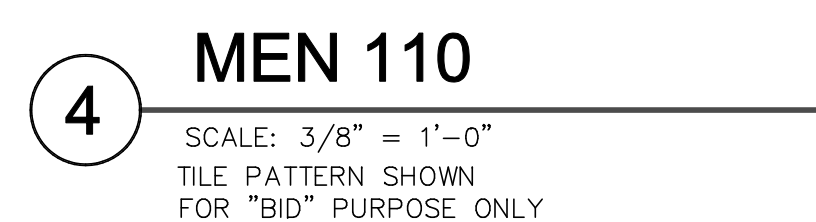
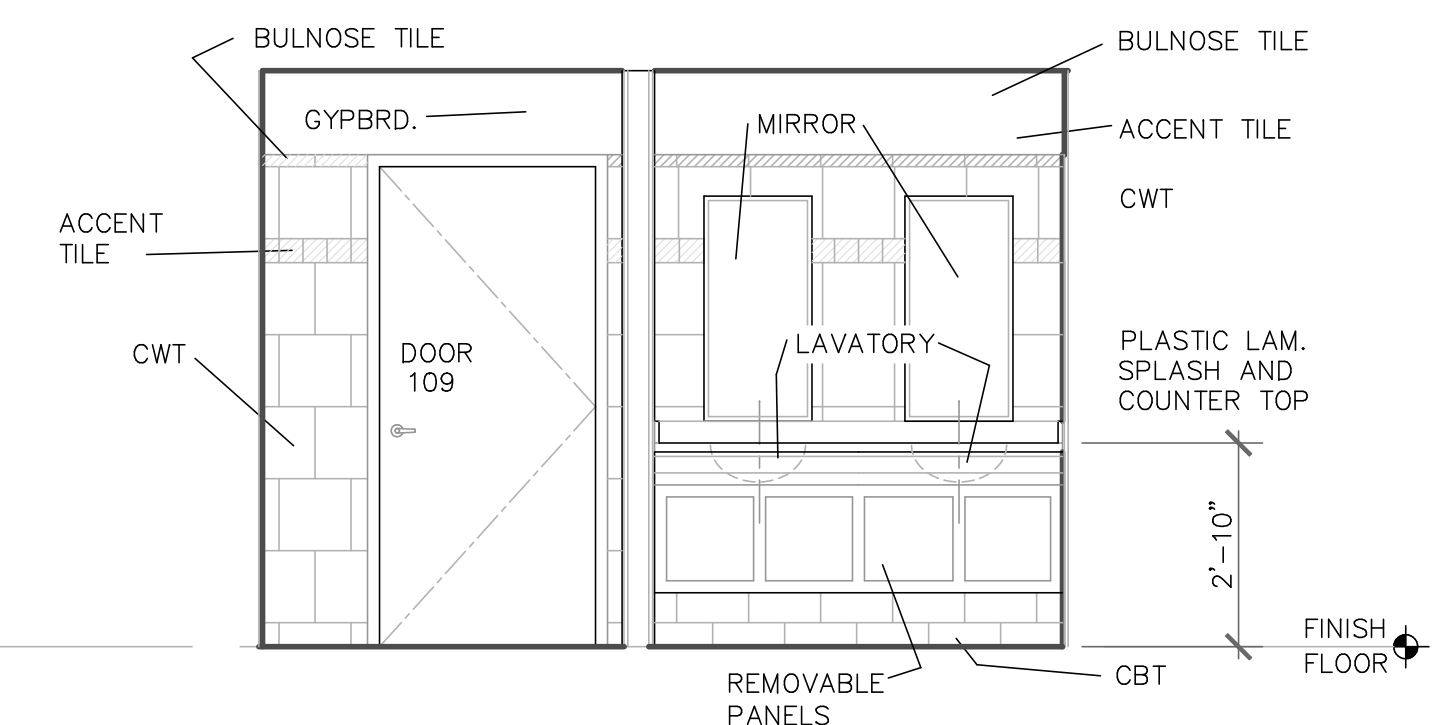
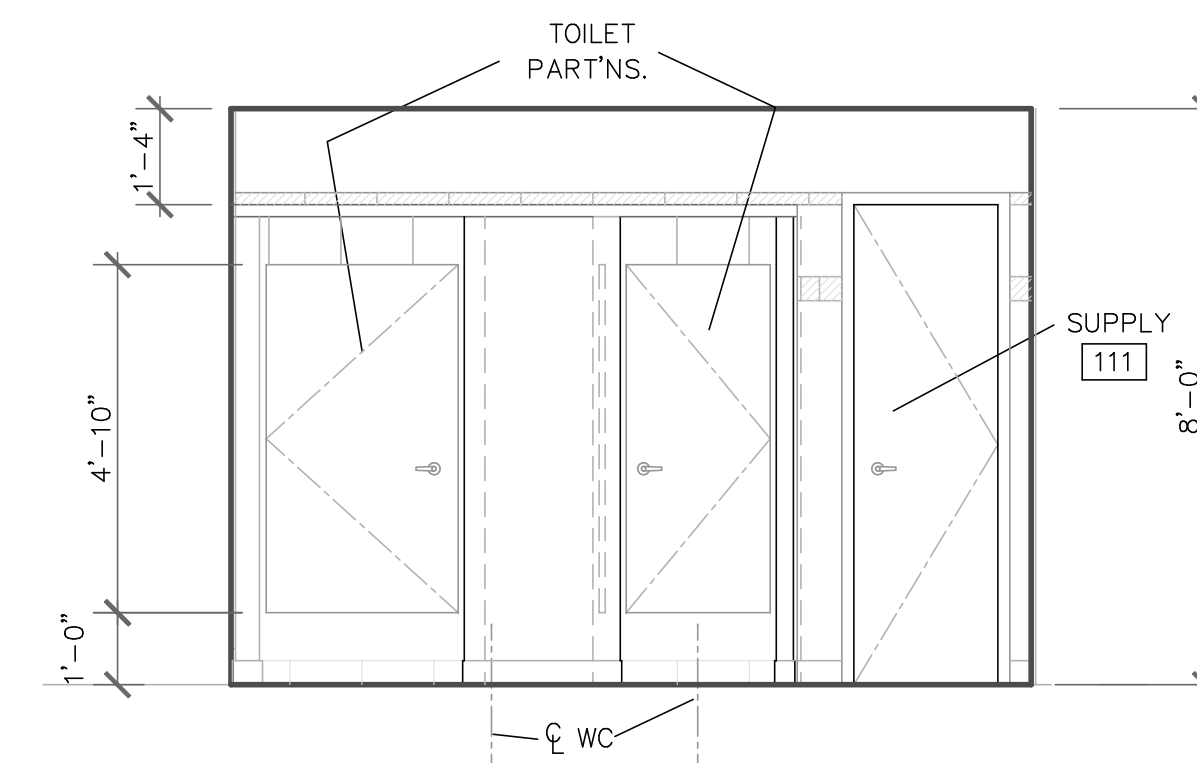
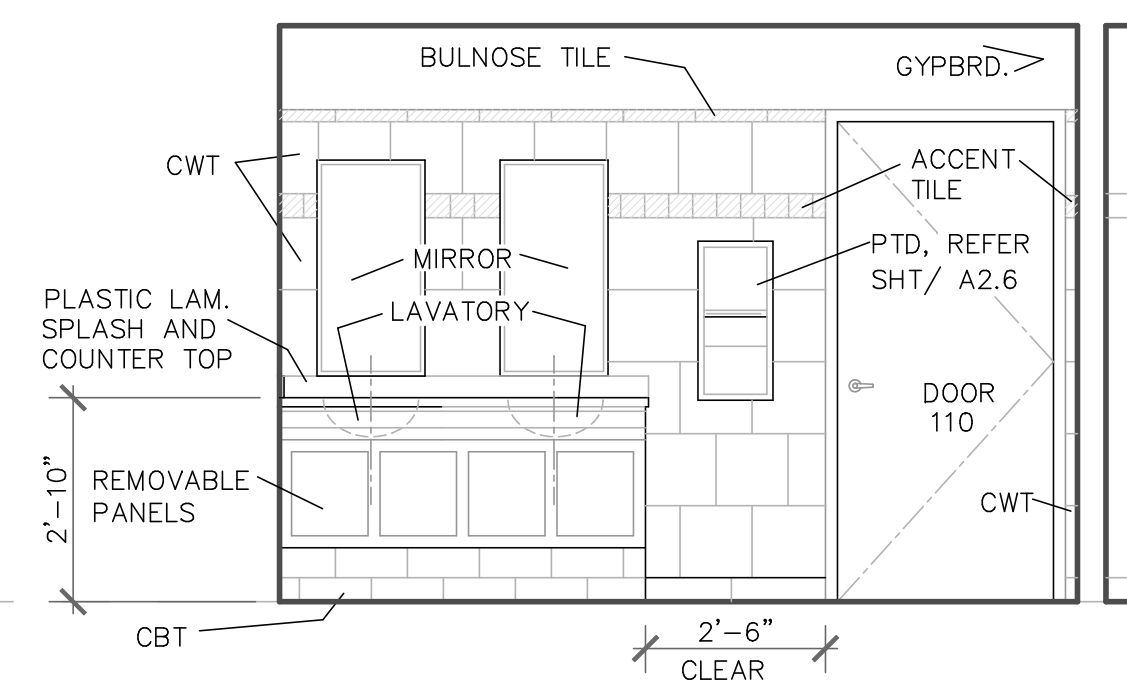
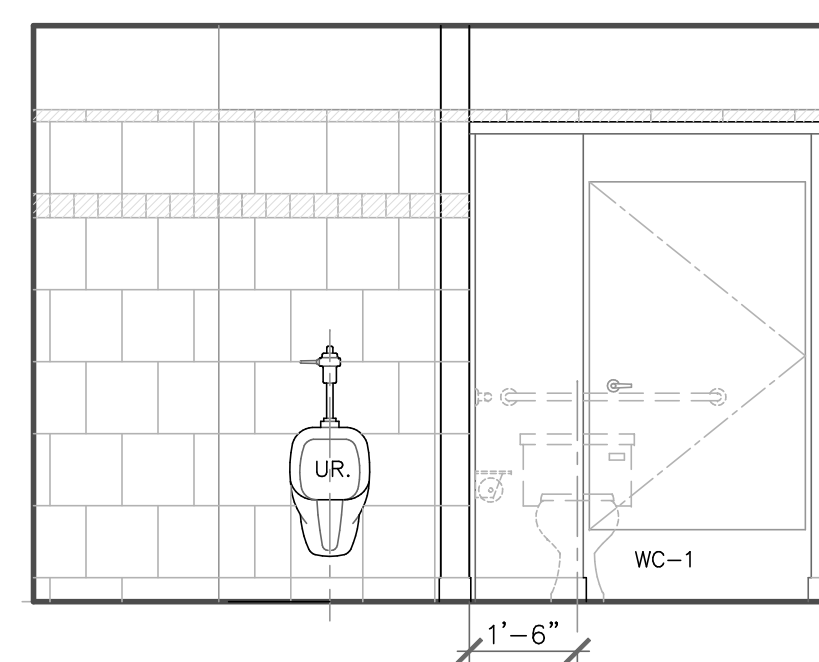
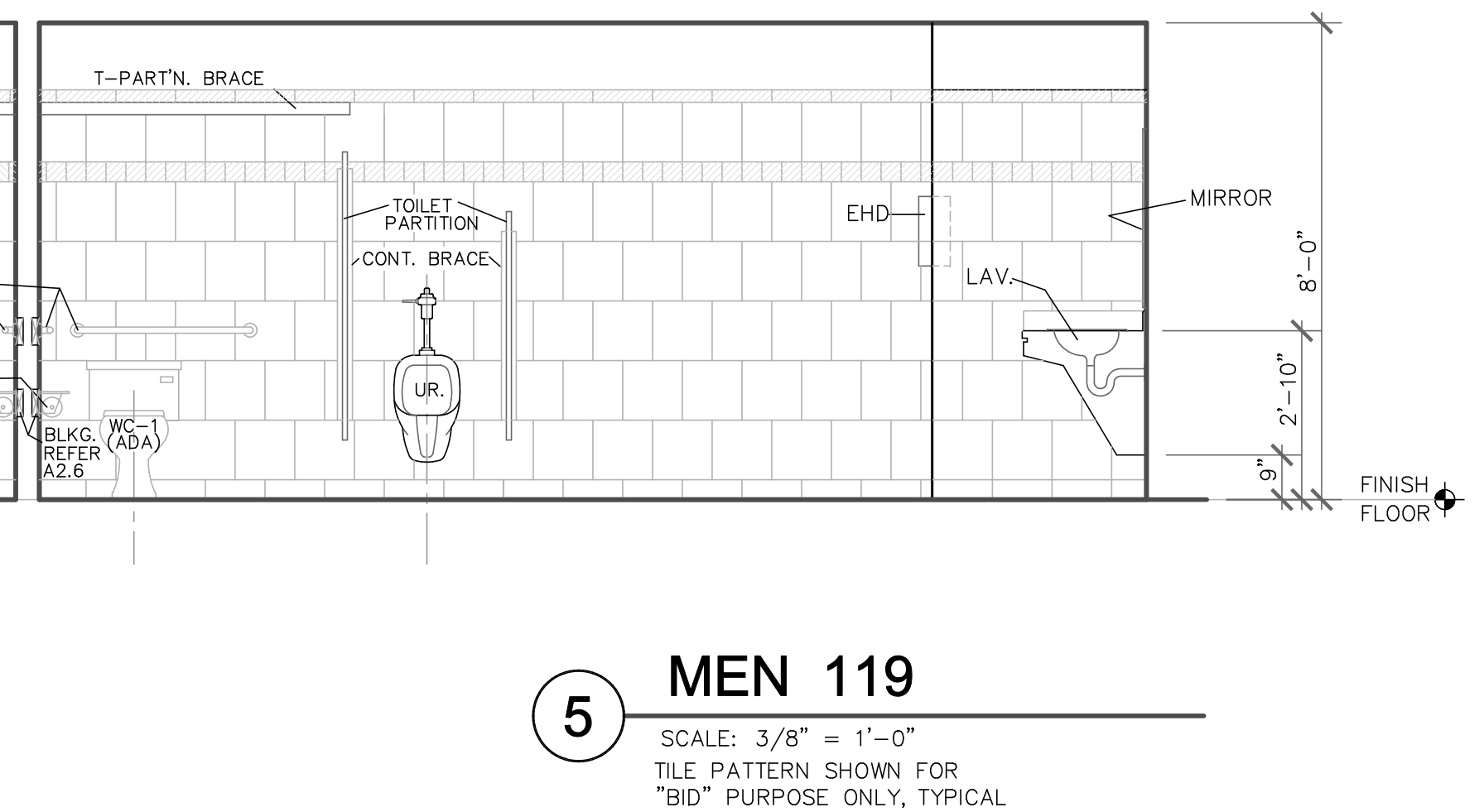
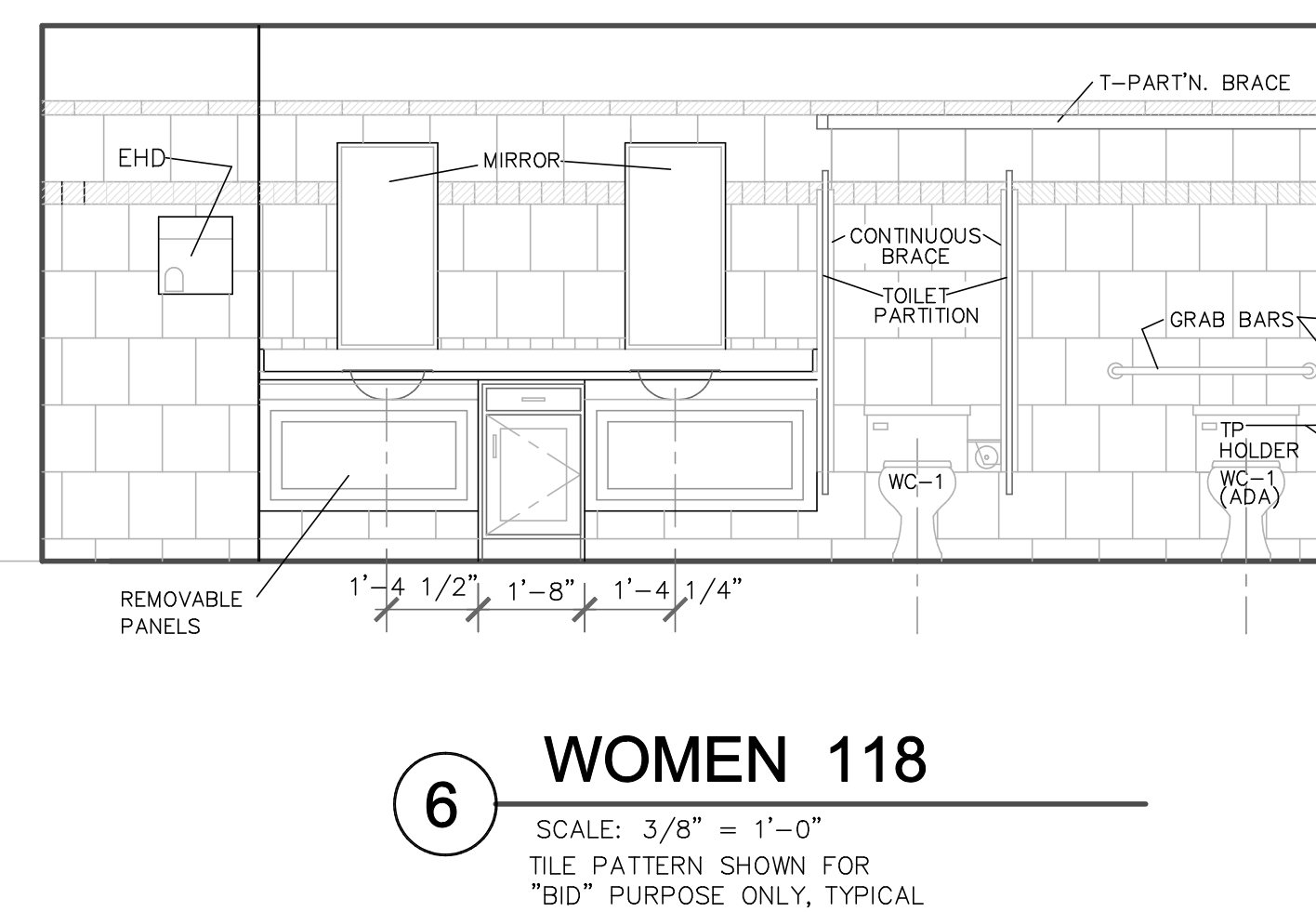
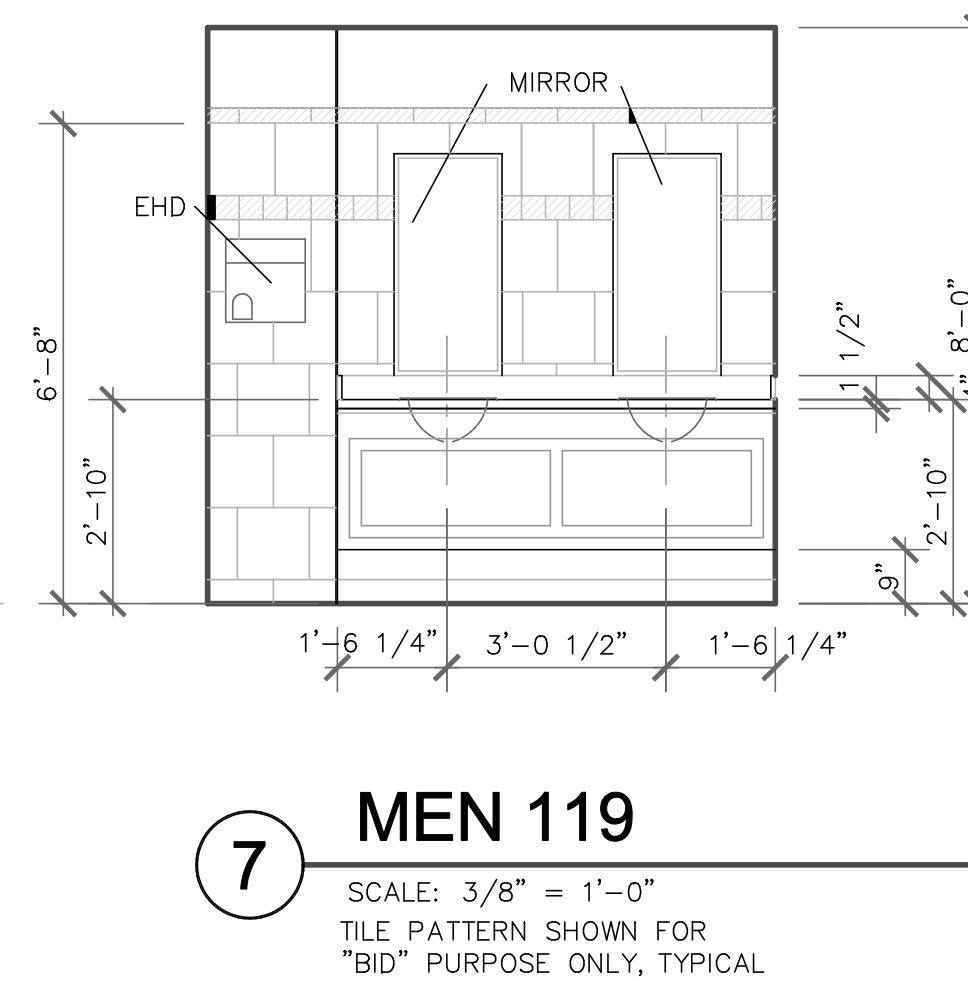
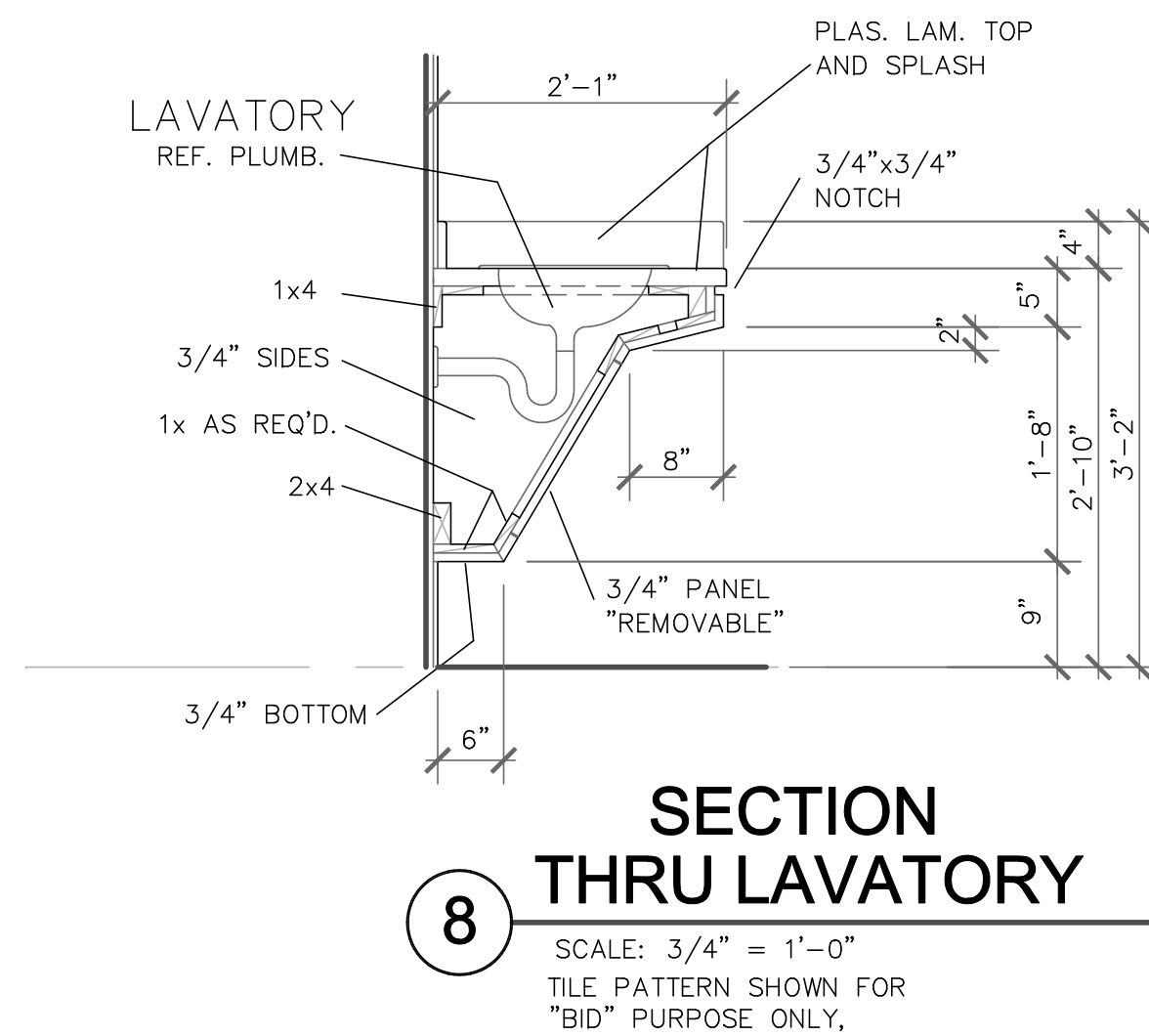
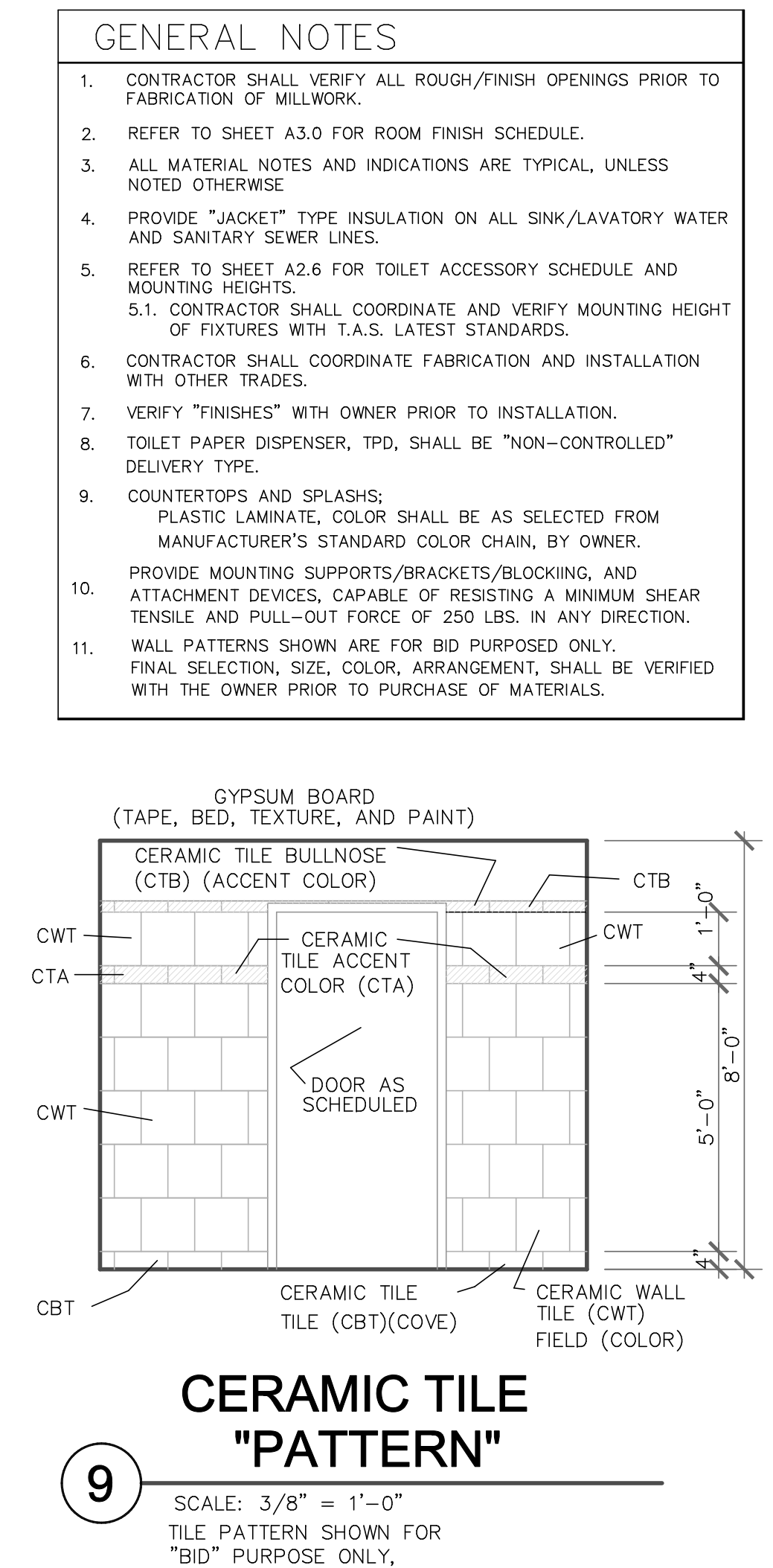
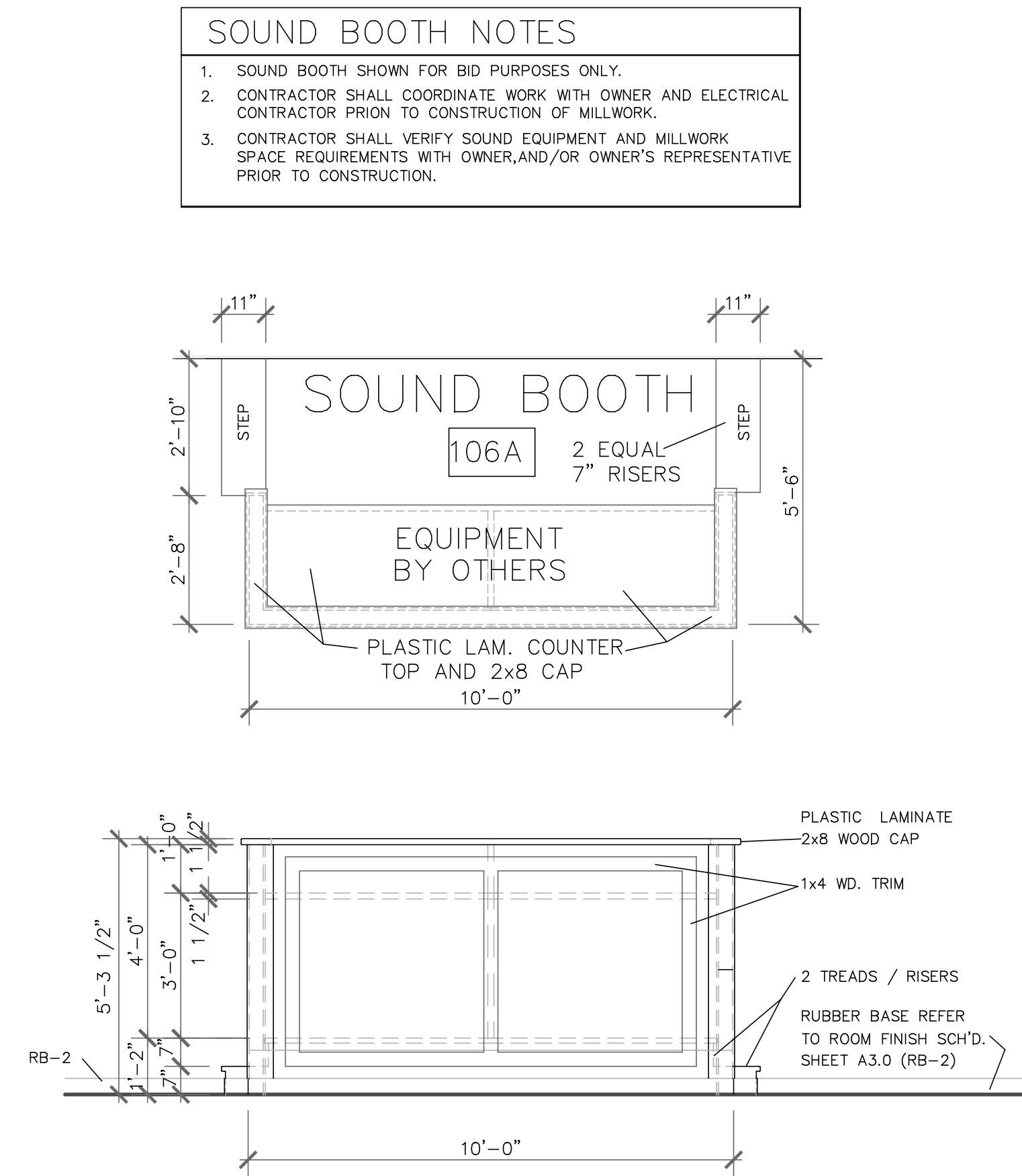
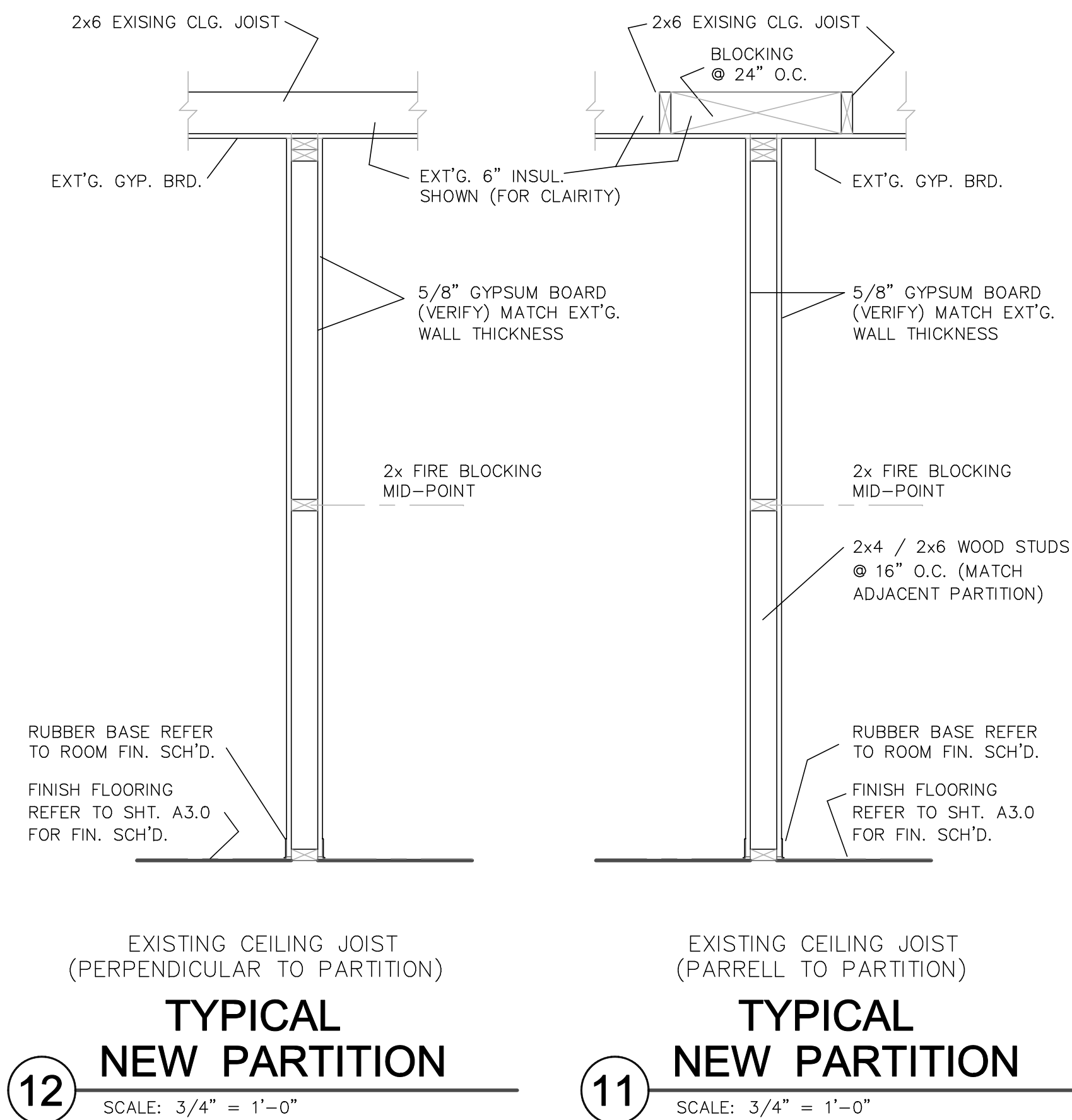
DOOR / WINDOW SCHEDULES

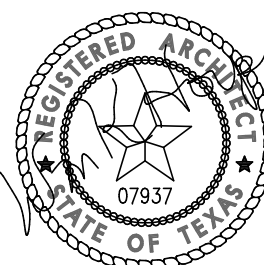
**RENOVATIONS for
CALVARY BAPTIST CHURCH**
700 Woodard Ave., Cleburne, Texas, 76033

Proj. no.
 Drawn by: KH
 Date: 08.03.22
 Revision Number
 Date

Sheet no.
A4.0

THIS DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED IN ANY WAY WITHOUT HIS WRITTEN PERMISSION





GENERAL NOTES

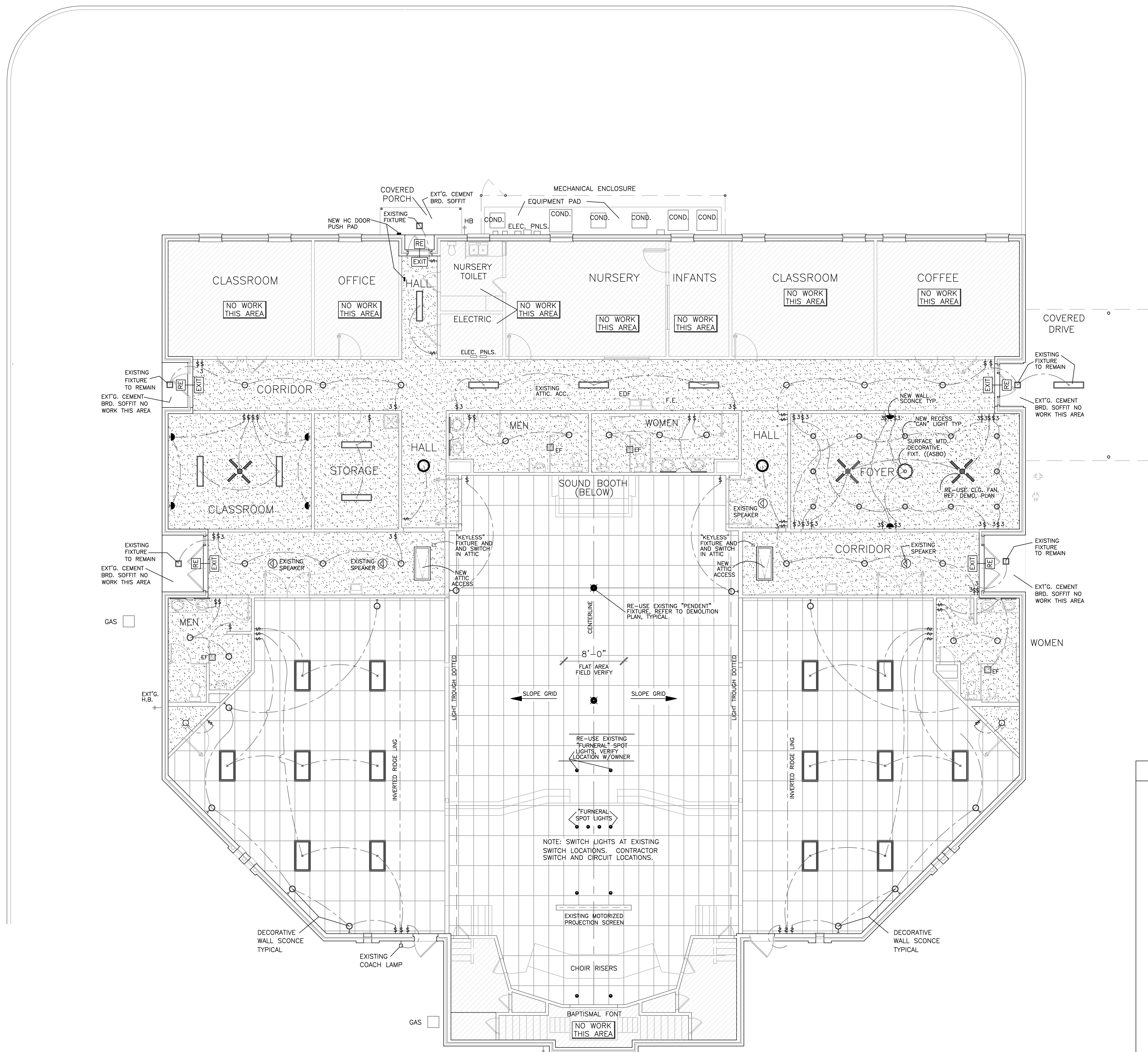
1. CONTRACTOR/SUB-CONTRACTOR SHALL COORDINATE EXISTING, DEMOLITION, AND PROPOSED PLANS.
2. CONTRACTOR / SUB-CONTRACTORS SHALL COORDINATE WORK WITH OTHER TRADES PRIOR TO ROUGH-IN OF FIXTURES AND UTILITIES.
3. CONTRACTOR/SUB-CONTRACTORS SHALL FIELD VERIFY ALL EQUIPMENT AND UTILITIES PRIOR TO START OF WORK.
4. ALL NOTES AND MATERIAL INDICATIONS ARE TYPICAL AND APPLY TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
5. REFER TO SHEET A4.0 FOR ROOM FINISH SCHEDULE AND DOOR SCHEDULE.
6. COORDINATE MPE AND ARCHITECTURAL DWGS. PRIOR TO START OF WORK CONTRACTOR TO SCHEDULE PRE-CONSTRUCTION MEETINGS AS REQUIRED WITH SUB-CONTRACTORS AND ARCHITECT.
7. REFER TO ELECTRICAL DOCUMENTS FOR OCCUPANCY SENSING WALL SWITCH LOCATIONS.
8. REFER TO ELECTRICAL DOCUMENTS FOR CEILING MOUNTED "SMOKE" DETECTOR LOCATIONS.
9. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE.
10. PROVIDE DUPLEX OUTLETS IN ATTIC AS REQUIRED FOR EQUIPMENT SERVICE.
11. REFER TO ELECTRICAL DOCUMENTS FOR "NIGHT" LIGHT LOCATIONS.
12. CONTRACTOR SHALL VERIFY ALL SWITCH, DUPLEX OUTLETS, LIGHTS, AND CIRCUITS AND LABLE AS REQUIRED.
13. CONTRACTOR SHALL VERIFY ALL SWITCH, DUPLEX OUTLETS, LIGHTS, AND CIRCUITS AND LABLE AS REQUIRED.
14. TO THE GREATEST EXTENT POSSIBLE, MAINTAIN DUPLEX OUTLETS, FIXTURES, AND SWITCH LOCATIONS.

REFLECTED CLG. LEGEND

- 2X4 LAY-IN ACOUSTIC CEILING PANELS AND GRID.
- INDICATED EXISTING GYPSUM BOARD CEILING TO BE REPAIRED, TEXTURED, AND PAINTED
- SOLID CEILING AS NOTED, TAPE, BED, NO TEXTURE, (SMOOTH FINISH,) AND PAINT.
- AREA OF "NO WORK" TO BE DONE
VERIFY WITH CONSTRUCTION MGR. AND OWNER.

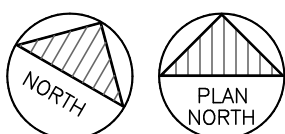
LIGHT FIXTURES (NOT ALL FIXTURES USED IN EACH PHASE)

- | | | | |
|--|---|--|---|
| | 2X4 RECESSED "LED" "LAY-IN" FIXTURE W/ACRYLIC DIFFUSER | | EXISTING CEILING FAN, RELOCATED AS REQUIRED |
| | 2X4 FLUSH MOUNTED "LED" FIXTURE | | EXIT FIXTURE |
| | 1X4 SURFACE MOUNTED "LED" FIXTURE | | EXIT FIXTURE WITH REMOTE |
| | "KEYLESS" ATTIC FIXTURE "LED" WITH LAMP | | EGRESS FIXTURE WITH BATTERY PACK (120V) |
| | "CAN" FIXTURE "LED" | | NEW DUPLEX OUTLET |
| | WALL "SCONCE" "LED" FIXTURE AS SELECTED BY OWNER | | EXISTING DUPLEX OUTLETS TO REMAIN |
| | EXISTING DECORATIVE WALL "SCONCE" FIXTURE (AUDITORIUM) REFER TO DEMOLITION PLAN/NOTES. | | SINGLE POLE TOGGLE SWITCH |
| | WALL MTD. LED VANITY FIXTURE. | | 3-WAY TOGGLE SWITCH |
| | NEW EXHAUST FAN | | EXISTING SPEAKER |
| | EXISTING DECORATIVE FIXTURE. REFER TO DEMOLITION PLAN/NOTES. | | |
| | EXISTING "FUNERAL" VIEWING SPOT LIGHTS. VERIFY EXACT LOCATION W/ OWNER. REFER TO "DEMOLITION NOTES BY SYMBOL" (22) SHEET A2.1 | | |
| | RE-USE EXISTING "FUNERAL" VIEWING SPOT LIGHTS. VERIFY EXACT LOCATION W/ OWNER. REFER TO "DEMOLITION PLAN, BY SYMBOL" (22) | | |
1. REFER TO ELECTRICAL DOCUMENTS FOR OCCUPANCY SENSING WALL SWITCH LOCATIONS.
 2. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE.
 3. REFER TO ELECTRICAL DRAWINGS FOR "GFCI", GROUND FAULT INTERRUPTER DUPLEX OUTLETS.
 4. PROVIDE DUPLEX OUTLETS IN ATTIC AS REQUIRED FOR EQUIPMENT SERVICE.



1 REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



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May 20, 2022 - 8:56am

ABBREVIATIONS USED ON STRUCTURAL DRAWINGS

ABOVE FINISH FLOOR	- A.F.F.	LARGER THAN OR EQUAL TO	- >=
ADDITIONAL	- ADDN'L	LESS THAN OR EQUAL TO	- <=
ADJACENT	- ADJ.	LIVE LOAD	- L.L.
ALTERNATE	- ALT.	LONGITUDINAL	- LONG.
ANCHOR BOLT	- A.B.	LONG LEG HORIZONTAL	- LLH
AND	- &	LONG LEG VERTICAL	- LLV
ANGLE	- L	LOW POINT	- L.P.
APPROXIMATE	- APPROX.		
ARCHITECTURAL	- ARCH'L	MANUFACTURER	- MFR.
AT	- @	MATERIAL	- MAT'L
AIR CONDITIONER	- A/C	MAXIMUM	- MAX.
AIR HANDLING UNIT	- AHU	MECHANICAL	- MECH'L
		METAL	- MET
BACK TO BACK	- B/B	MEZZANINE	- MEZZ.
BASE PLATE	- BP	MINIMUM	- MIN.
BEAM	- BM.	MISCELLANEOUS	- MISC.
BEARING	- BRG.	MOMENT	- M.
BETWEEN	- BTWN.	MOMENT CONNECTIONS	- M.C.
BLOCKING	- BLK'G.		
BOTH WAYS	- B.W.	NON-SHRINK	- N.S.
BOTTOM	- BOT.	NOT TO SCALE	- N.T.S.
BOTTOM CHORD EXTENSION	- BCX	NUMBER	- NO.
BRIDGING	- BRDG.		
BUILDING	- BLDG.	ON CENTER	- O.C.
BUILDING LINE	- B.L.	OPENING (S)	- OPNG.(S)
		OPPOSITE	- OPP.
CEILING	- CLG.	OPPOSITE HAND	- O.H.
CENTER TO CENTER	- C/C	OUTSIDE DIAMETER	- O.D.
CENTER LINE	- CL	OUTSIDE FACE	- O.F.
CENTERED	- CNTRD.		
CHANNEL	- C	PENETRATION	- PEN.
CLEAR	- CL.	PERIMETER	- PERIM.
COLUMN	- COL.	PERPENDICULAR	- PERP.
COMPRESSION	- C.	PIPE BRACE	- P.B.
CONCRETE	- CONC.	PLATE	- PL
CONCRETE MASONRY UNIT	- CMU	POINT	- PT.
CONDENSING UNIT	- CU	PRECAST CONCRETE	- P/C
CONNECTION (S)	- CONN.(S)	PROJECTION	- PROJ.
CONTINUOUS	- CONT.		
CONSTRUCTION JOINT	- C.J.	RADIUS	- RAD.
COORDINATE	- COORD.	REFER	- REF.
		REINFORCING	- REINF.
DETAIL	- DET.	REMAINDER	- REM.
DEAD LOAD	- D.L.	REQUIRED	- REQ'D.
DIAGONAL	- DIAG.	RIGID FRAME	- R.F.
DIAGONAL BRACE	- D.B.	ROOF TOP UNIT	- RTU
DIAMETER	- DIA. OR Ø	ROOF DRAIN	- R.D.
DIMENSION	- DIM.		
DOUBLE	- DBL.	SAWN JOINT	- S.J.
DOWELS	- DWL(S)	SCHEDULE	- SCHED.
DOWN	- DN.	SECTION	- SECT.
DRAWING	- DRWG.	SHEAR	- V
		SHEET	- SHT.
EACH	- EA.	SIMILAR	- SIM.
EACH FACE	- E.F.	SLIP CONNECTION	- S.C.
EACH WAY	- E.W.	SPACE	- SP.
ELECTRICAL	- ELEC'L	SPECIFICATIONS	- SPEC.
ELEVATION	- EL.	STANDARD	- STD.
ELEVATOR	- ELEV.	STEEL	- STL
ENGINEER	- ENGR.	STIFFENER	- STIFF.
EQUAL (EQUALLY)	- EQ.	STIRRUPS	- STIR.
EXPANSION	- EXP.	STRUCTURE	- STRUCT
EXPANSION JOINT	- E.J.	STRUCTURAL	- STRUCT'L
EXISTING	- EXIST.	SUPPORT	- SUPT.
EXTERIOR	- EXT.	SYMMETRICAL	- SYMM.
FACE TO FACE	- F/F	TOP CHORD EXTENSION	- TCX
FAR SIDE	- F.S.	TEMPERATURE	- TEMP.
FINISH (ED)	- FIN.	TENSION	- T.
FINISHED FLOOR	- FIN. FL.	THICK	- THK.
FIXED CONNECTION	- F.C.	TONGUE & GROOVE	- T & G.
FLANGE	- FLG.	TOP & BOTTOM	- T & B.
FLOOR	- FL.	TOP OF BEAM	- T.O.B.
FOOTING	- FTG.	TOP OF FOOTING	- T.O.F.
FOUNDATION	- FDN.	TOP OF JOIST	- T.O.J.
		TOP OF METAL DECK	- T.M.D.
GAGE OR GAUGE	- GA.	TOP OF PIER	- T.O.P.
GALVANIZED	- GALV.	TOP OF PIER CAP	- T.O.P.C.
GENERAL	- GEN.	TOP OF STRUCTURAL STEEL	- T.O.S.S.
GLULAM	- GL.	TOP OF STRUCTURAL CONCRETE	- T.O.S.C
GRADE	- GR.	TOP OF WALL	- T.O.W.
GRADE BEAM	- G.B.	TOTAL LOAD	- T.L.
GYPSTUM BOARD	- GYP. BD.	TRANSVERSE	- TRAN.
		TYPICAL	- TYP.
HEADED STUD	- H.S.		
HEIGHT	- HT.	UNLESS NOTED OTHERWISE	- U.N.O.
HIGH POINT	- H.P.		
HORIZONTAL	- HORIZ.	VERTICAL	- VERT.
HORIZONTAL LOAD	- H.L.		
INFORMATION	- INFO.	WATERSTOP	- W.S.
INSIDE DIAMETER	- I.D.	WEIGHT	- WT.
INSIDE FACE	- I.F.	WELDED WIRE MESH (FABRIC)	- W.W.F.
INTERIOR	- INT.	WIND LOAD	- W.L.
INTERMEDIATE	- INTERM.	WITH	- W/
		WOOD	- WD.
		WORK POINT	- W.P.
JOINT	- JT.		
JOISTS	- JST (S)	X-BRACING	- XB
KIPS	- K.		

GENERAL NOTES

I. GENERAL CONDITIONS & DESIGN LOADS

- Building Code: 2015 International Building Code
- Risk Category III
- Roof Dead Loads
 - Roofing 2.5 psf
 - Decking 1.8 psf
 - Joists or Rafters or Trusses 2.0 psf
 - Ceiling 2.0 psf
 - Insulation 2.5 psf
 - Mechanical and Electrical 2.0 psf
 - Sprinklers 2.0 psf
 - Miscellaneous 1.0 psf

- Floor Dead Loads
 - Joists 2.0 psf
 - Ceiling 2.0 psf
 - Insulation 2.5 psf
 - Mechanical and Electrical 2.0 psf
 - Sprinklers 2.0 psf
 - Miscellaneous 1.0 psf

OCCUPANCY OR USE	UNIFORM (psf)	CONCENTRATED (pounds)
Assembly		
Fixed seats	60	-
Follow spot, projections and control rooms	50	
Lobbies	100	
Movable seats	100	
Stage floors	150	
Platforms	100	
Other assembly areas	100	
Roofs		
All roof surfaces subject to maintenance workers		300
Ordinary flat, pitched, and curved roofs (that are not occupiable)	20	

- General
 - All existing conditions shall be field verified.
 - Contractor shall verify all dimensions prior to start of construction.
 - General Contractor shall be responsible for coordination of other trades (mech'l, elec'l, etc.) prior to fabrication and installation of materials.
 - General Contractor shall be responsible for coordination of architectural and structural drawings prior to fabrication, forming, or placement of materials. General Contractor shall report discrepancies immediately to Architect and shall proceed with construction only after discrepancy has been resolved.
 - The details designated as "Typical Details" (TYP) apply generally to the drawings in all areas where conditions are similar.
 - Contractor shall review architectural and mechanical sheets for miscellaneous steel.
 - Contractor shall review mechanical sheets for miscellaneous concrete.
 - The design represented by these plans provides for stability of the completed structure. It is the contractor's responsibility to maintain structure stability and safety during construction per requirements of SEI/ASCE 37-14 Design Loads on Structures During Construction.

II. STRUCTURAL CONCRETE

- Concrete shall have the following properties:

Description of Use	Unit Weight (pcf)	Min. 28 Day Strength (psi)	Max w/c Ratio	Air Content
Stairs	145 (NW)	3,000	-	3-6%

- Reinforcing steel shall be ASTM A615 Grade 60 unless noted otherwise.
- Lap reinforcing splices #6 and smaller bars - 57 bar diameters with 24" minimum unless noted otherwise. Lap reinforcing splices #7 and larger - 71 bar diameters with 24" minimum unless noted otherwise.
- All reinforcement shall be detailed in accordance with the latest ACI Detailing Manual.
- Provide concrete coverage for reinforcing steel as follows unless noted otherwise:

Location	Concrete Cover (in)
Concrete cast against and permanently exposed to earth	3
Concrete exposed to earth or weather: No. 6 through No. 18 bars No. 5 bar and smaller	2 1-1/2

III. ROUGH CARPENTRY

- Dimension lumber shall be Douglas Fir South #2 with minimum mechanical properties as specified in Table 4A of the NDS Supplement, with a maximum moisture content of 19%.
- LVL lumber shall have minimum mechanical properties as follows: F_v=2,800 psi, F_x=285 psi and E=2,000 ksi.
- Wall, floor and roof sheathing shall meet APA specifications.
- Provide solid blocking for joists and rafters at 8'-0" on center.
- Connectors for wood truss, rafters and joist connections shall be Simpson Strong-Tie Co., Inc.'s product. Substitutions must be pre-approved in writing by the engineer of record.
- Provide clips at midpoint between supports alongside laps for roof deck.
- Unless otherwise noted, all framing nails shall be common nails.
- When nails are over driven into sheathing, refer to APA T94-9 for corrective procedures.



Project Number: 22107401
Issue Date: 05/20/22

Revisions:

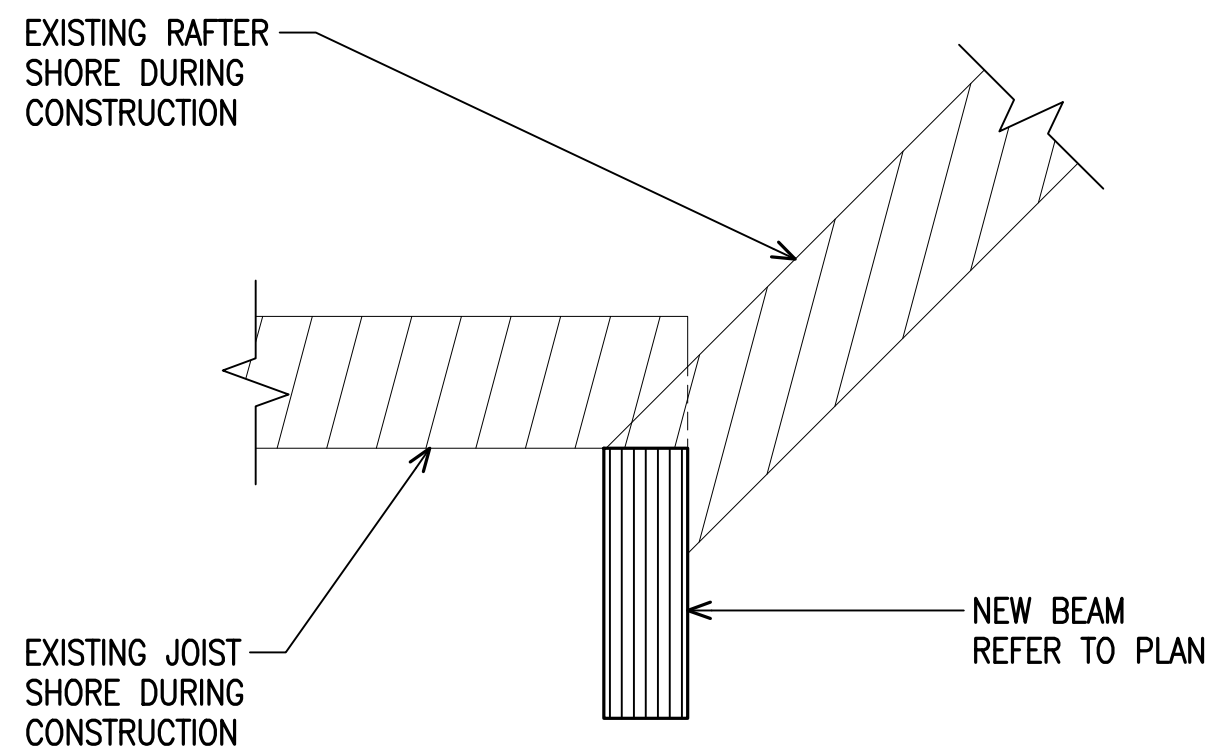
RENOVATIONS FOR
CALVARY BAPTIST CHURCH
700 WOODARD AVE.
CLEBURNE, TX 76033

Project Engineer: M.K.
Project Draftsman: J.D.

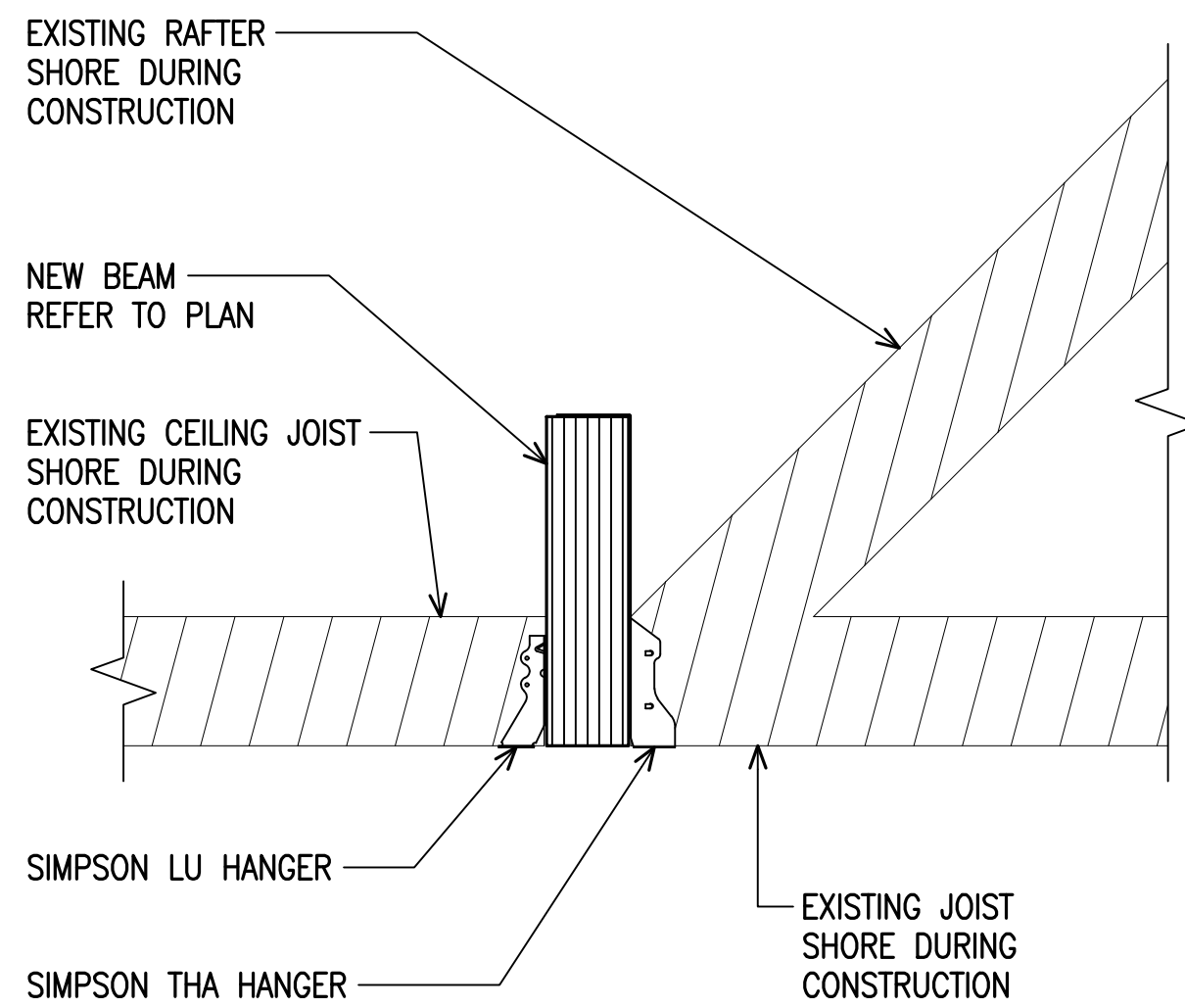
Sheet Title
ABBREVIATIONS AND
GENERAL NOTES

S0.1

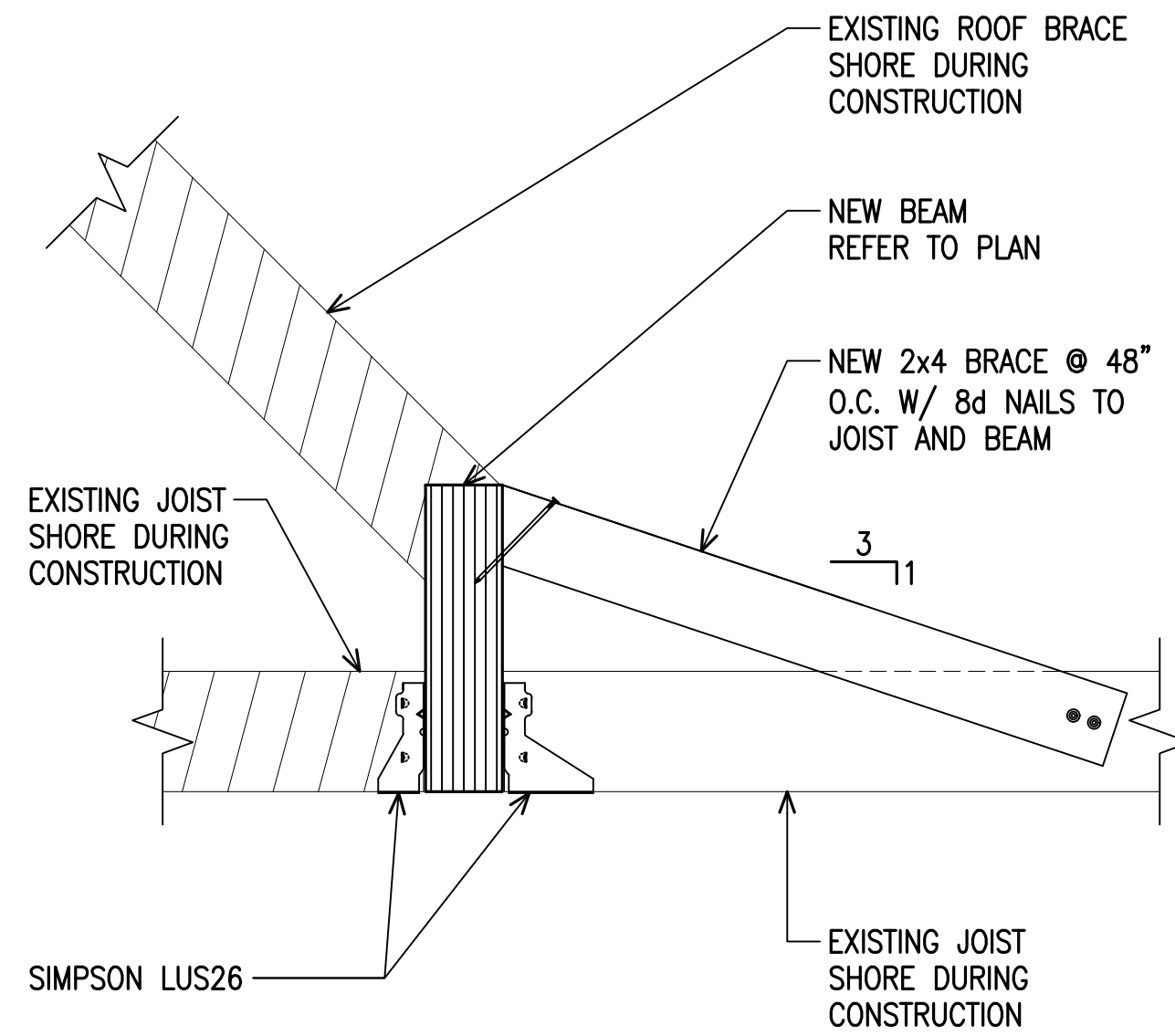
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May 20, 2022 - 8:57am



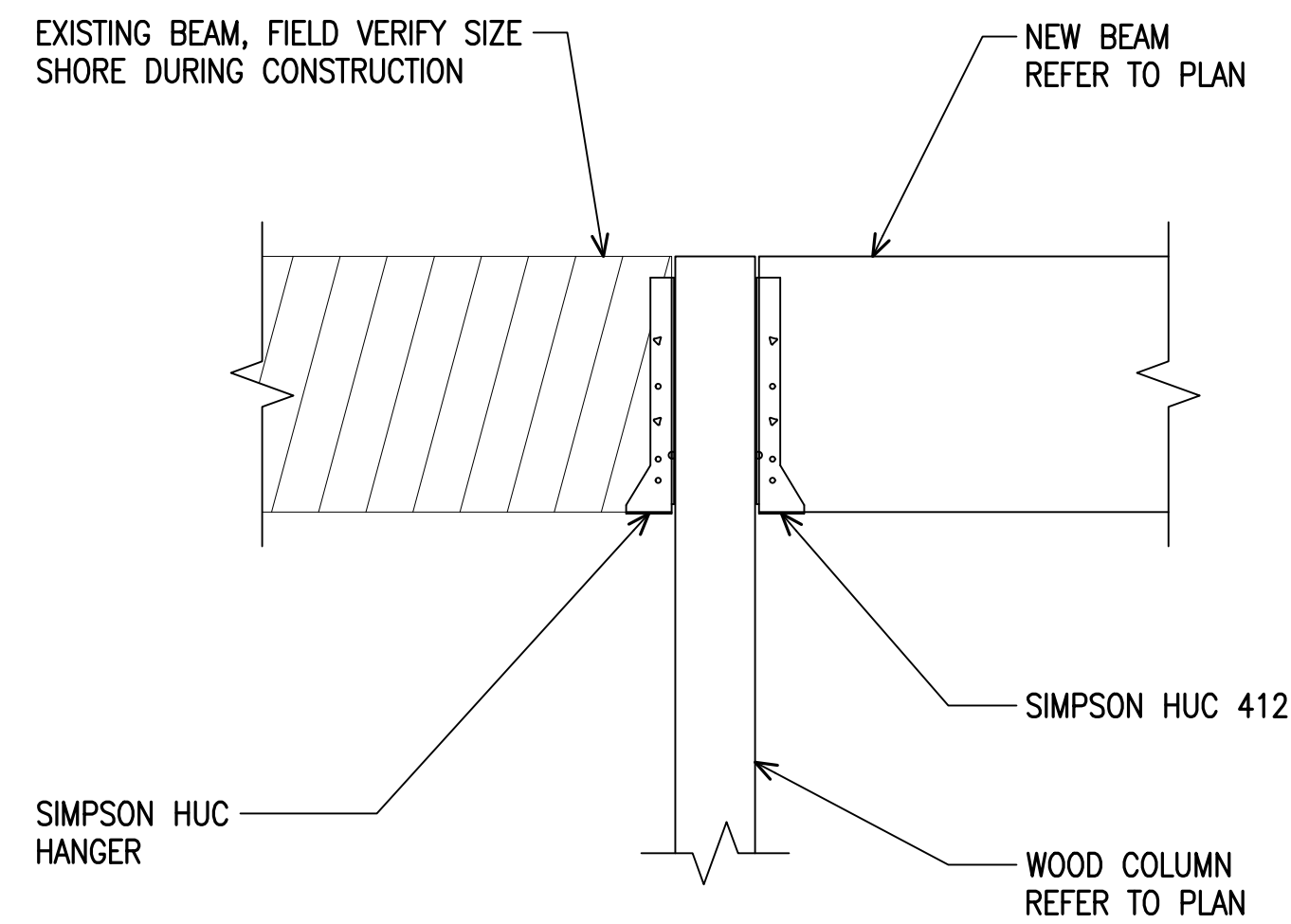
1 | **DETAIL**
1 1/2" = 1'-0" EXISTING WOOD FRAMING
BEARING ON NEW WOOD BEAM



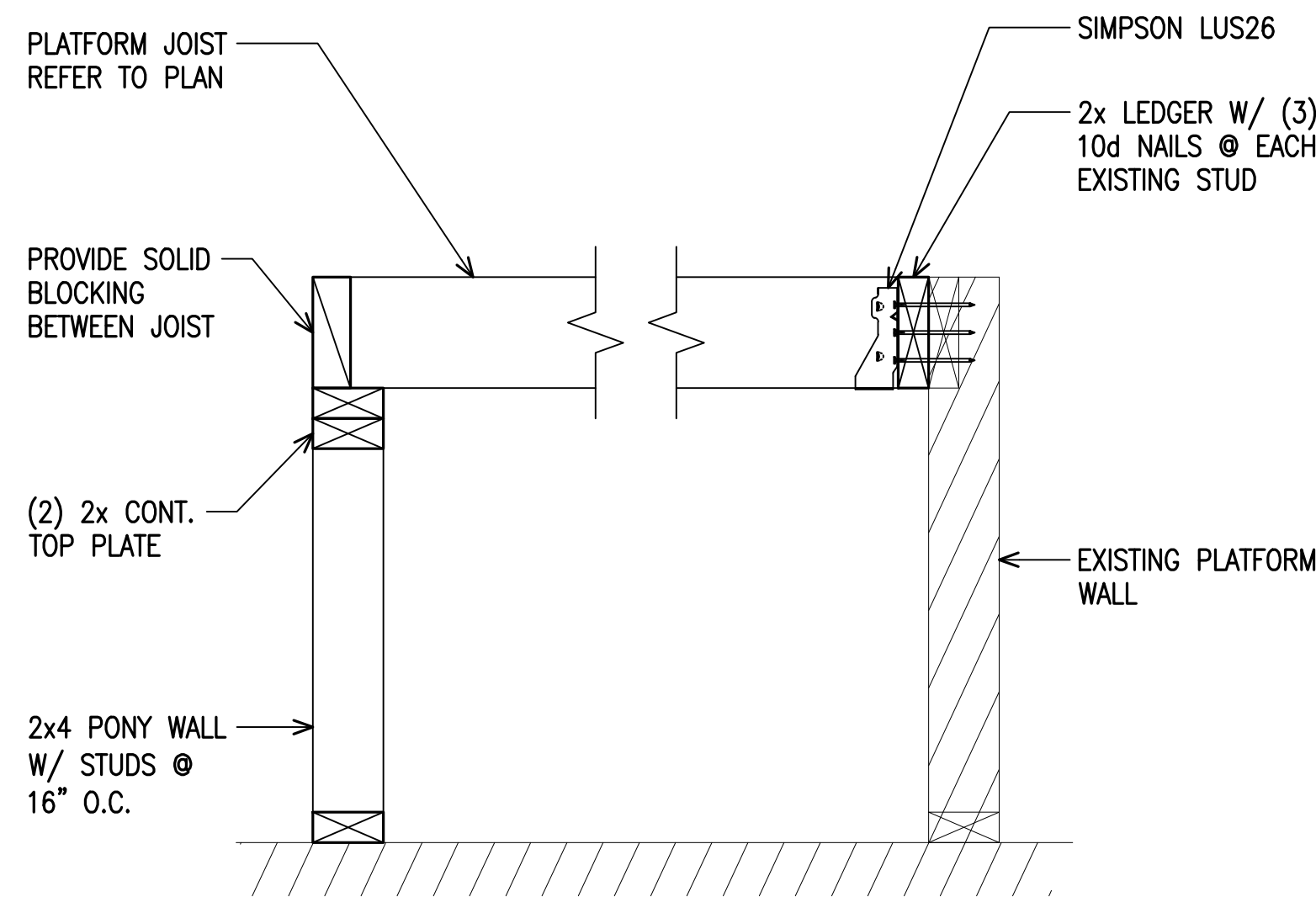
2 | **DETAIL**
1 1/2" = 1'-0" EXISTING WOOD FRAMING
TO NEW WOOD BEAM CONNECTION



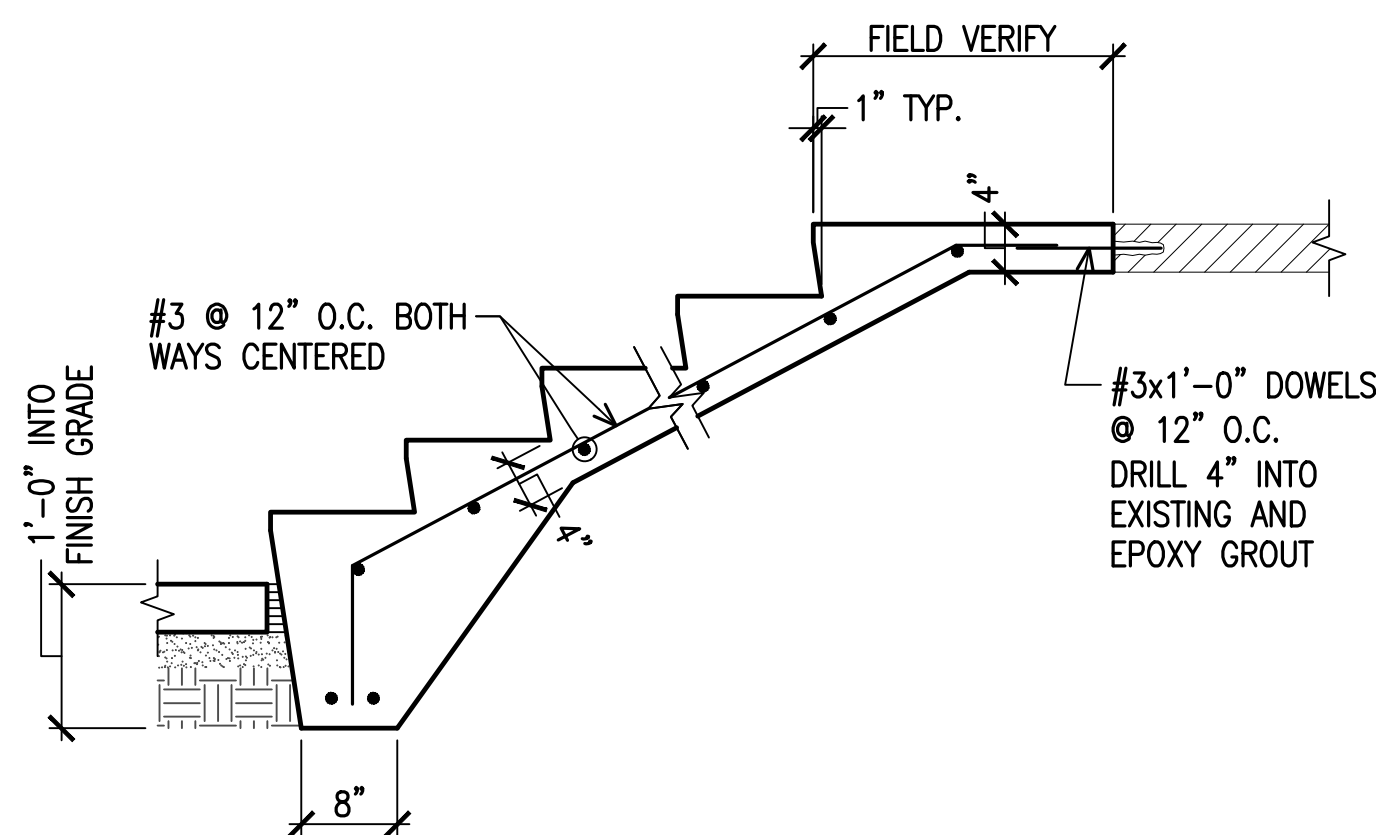
3 | **DETAIL**
1 1/2" = 1'-0" EXISTING WOOD FRAMING
TO NEW WOOD BEAM CONNECTION



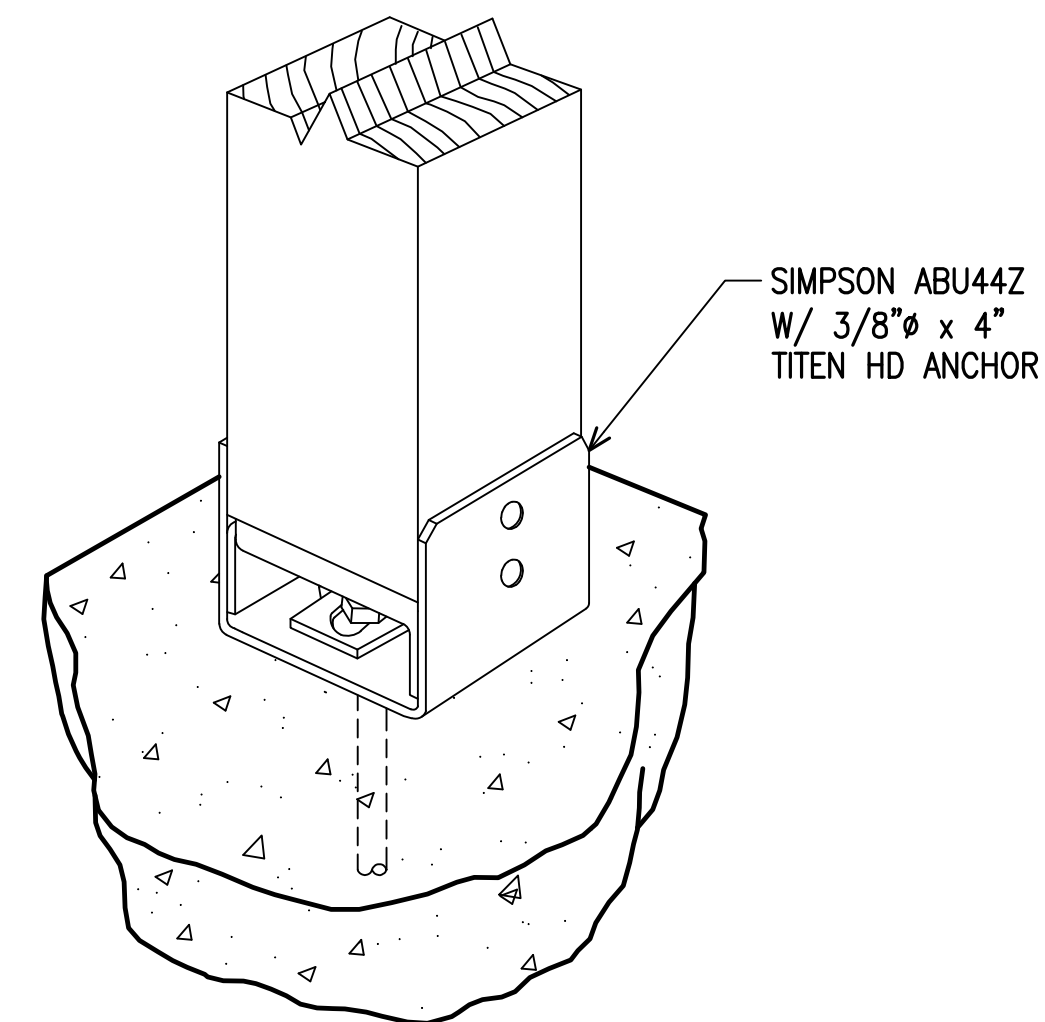
4 | **DETAIL**
1 1/2" = 1'-0" NEW AND EXISTING WOOD BEAM
TO NEW WOOD COLUMN CONNECTION



5 | **DETAIL**
1 1/2" = 1'-0" PLATFORM FRAMING



6 | **DETAIL**
3/4" = 1'-0" CONCRETE STAIR



7 | **TYPICAL DETAIL**
NOT TO SCALE POST BASE



Project Number: 22107401
Issue Date: 05/20/22

Revisions:

RENOVATIONS FOR
CALVARY BAPTIST CHURCH
700 WOODARD AVE.
CLEBURNE, TX 76033

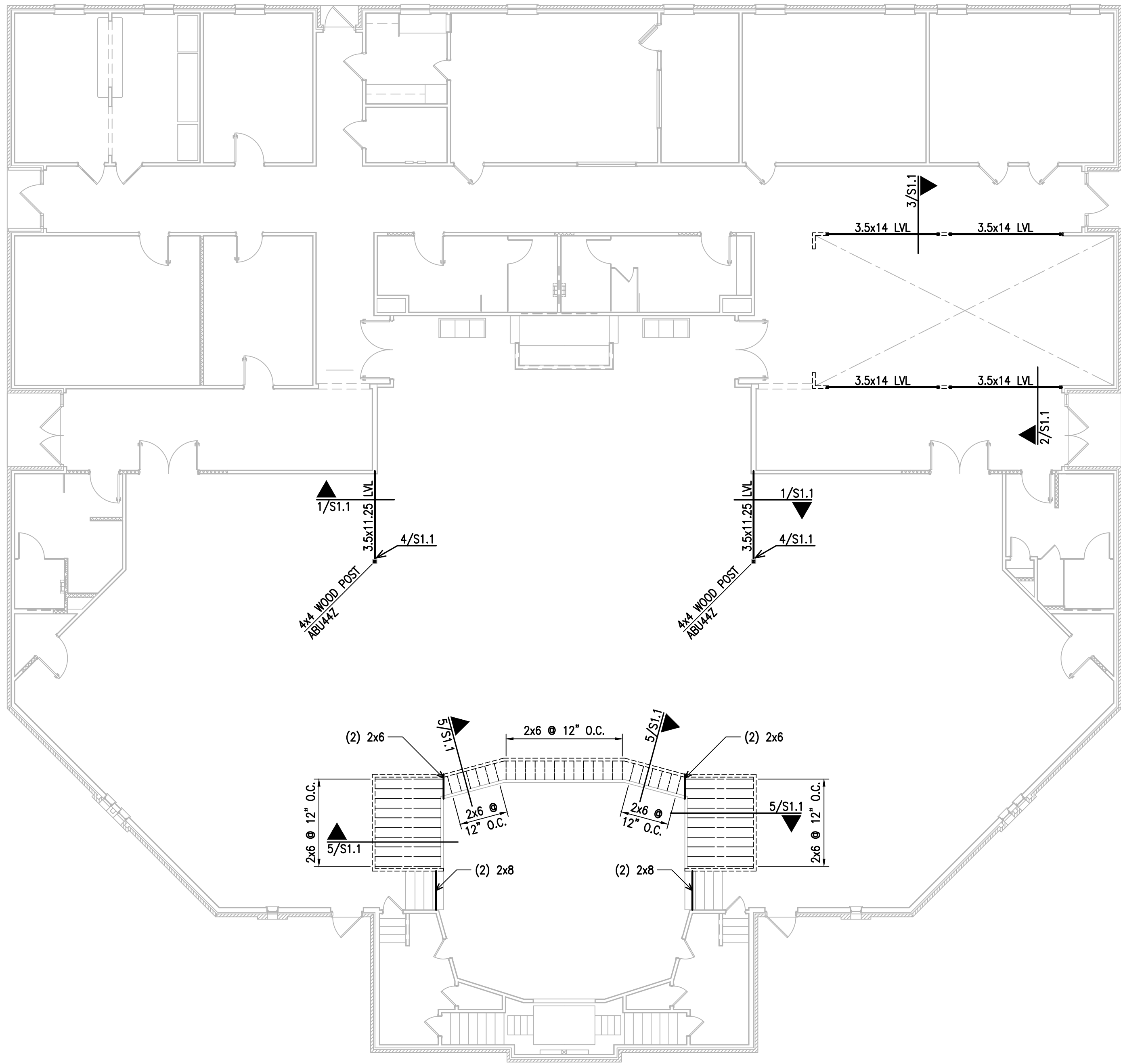
Project Engineer: M.K.
Project Draftsman: J.D.

Sheet Title
FOUNDATION AND
FRAMING DETAILS

S1.1

FWN&A
Structural Engineering
Frank W. Neal & Assoc., Inc.
817-332-1944
fwna-eng.com
1015 W. Broadway Ave.
Fort Worth, TX 76104
Texas Firm Reg. No. F-296

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May 20, 2022 - 8:57am



1 FRAMING PLAN

1/8" = 1'-0"

- FRAMING PLAN NOTES:
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
 - REFER TO SHEET S0.1 FOR GENERAL NOTES.
 - REFER TO SHEET S1.1 FOR DETAILS NOT NOTED ON PLAN.
 - ALL SUPPORTS UNDER WOOD BEAMS SHALL BE (3) 2x STUDS U.N.O. STUD PACKS SHALL BE STACKED TO FOUNDATION BELOW.
 - WOOD POSTS ARE NOTED ON PLAN THUS:
4x4 WOOD POST ← POST SIZE
ABU44Z ← POST BASE



Project Number: 22107401
Issue Date: 05/20/22

Revisions:

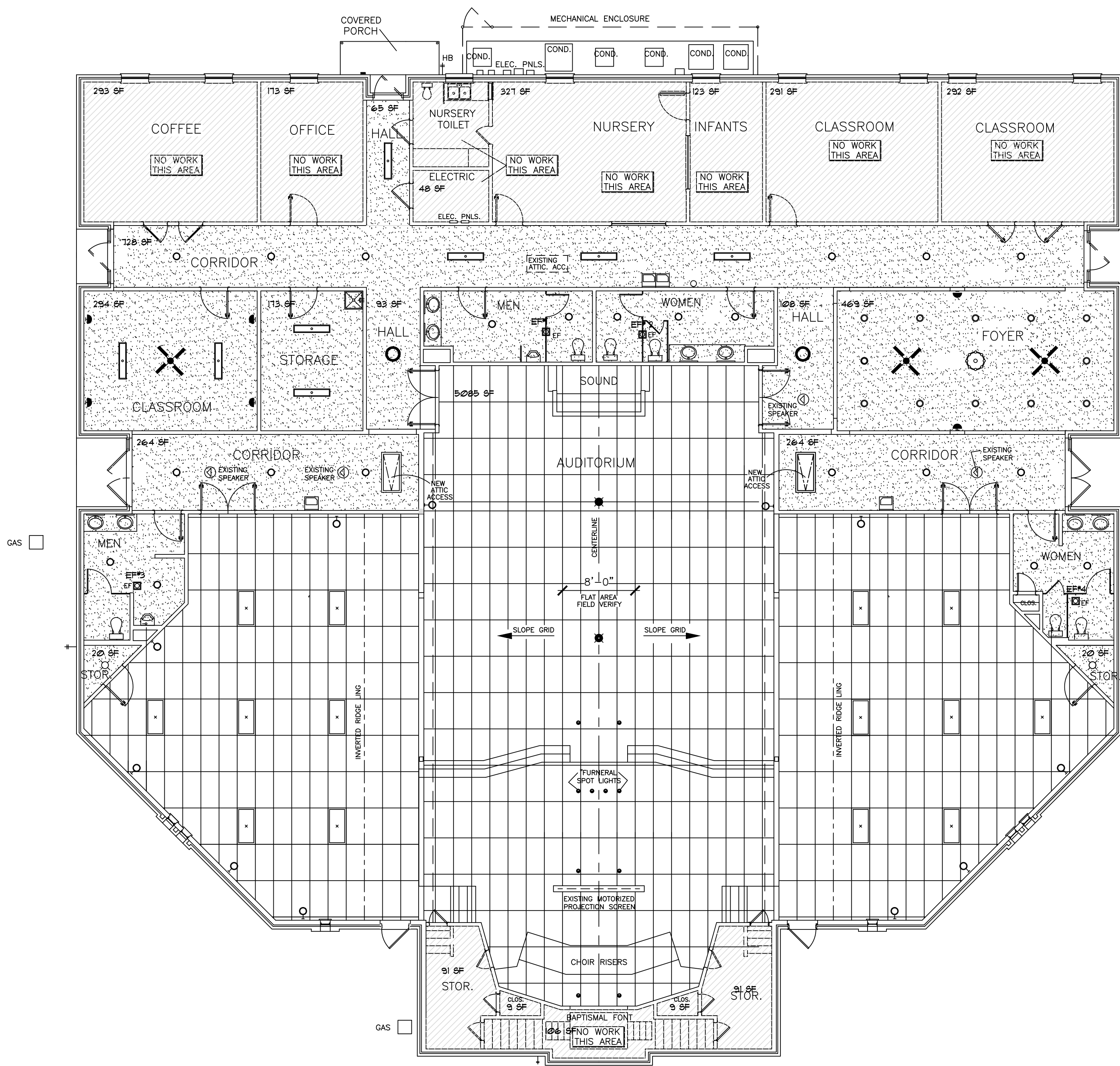
RENOVATIONS FOR CALVARY BAPTIST CHURCH 700 WOODARD AVE. CLEBURNE, TX 76033

Project Engineer: M.K.
Project Draftsman: J.D.

Sheet Title
FRAMING PLAN

S2.1

1 MECHANICAL PLAN
SCALE: 1/8"=1'-0"



MECHANICAL GENERAL NOTES

INTENT:
THE INTENT OF THIS SPECIFICATION IS TO PROVIDE A STANDARD HVAC INSTALLATION FOR THE FACILITY WHICH IS FREE FROM HAZARD, EFFICIENT, SERVICEABLE, CAPABLE OF MAINTAINING SPECIFIED MAXIMUM RELATIVE HUMIDITY AND TEMPERATURE AS SPECIFIED AND EASY TO MAINTAIN.
THE EQUIPMENT, SYSTEMS, AND CONTROLS SHALL BE DESIGNED AND INSTALLED IN SUCH A MANNER THAT WILL ENCOURAGE THE CONSERVATION OF ENERGY WITHOUT UNNECESSARY HANDSHIP OR INCONVENIENCE TO TENANT.

CODES, RULES AND REGULATIONS:
THE INSTALLATION SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL AUTHORITIES SHARING JURISDICTION AND THE RULES AND REGULATIONS OF THE SERVING UTILITY, AND ALSO THE REQUIREMENTS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS. WHERE THE CONTRACT REQUIREMENTS ARE IN EXCESS OF APPLICABLE CODES, RULES AND REGULATIONS, THE CONTRACT PROVISIONS SHALL GOVERN.
IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS OR SPECIFICATIONS ARE AT VARIANCE WITH ANY LAWS, ORDINANCES, RULES AND REGULATIONS, HE SHALL PROMPTLY NOTIFY THE ARCHITECT-ENGINEER IN WRITING.
IF THE CONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO THE ABOVE, AND WITHOUT NOTICE TO THE ARCHITECT-ENGINEER, HE SHALL BEAR ALL EXPENSE REQUIRED TO MAKE THE WORK TO CONFORM IN AN ACCEPTABLE MANNER.

NEMA:
ELECTRICAL COMPONENTS USED IN THIS APPLICATION SHALL BE RATED IN ACCORDANCE WITH NEMA STANDARDS.

SCOPE OF WORK:
FURNISH A COMPLETE SYSTEM OF HEATING, AIR CONDITIONING AND ALL VENTILATING, THE DESIGN OF WHICH SHALL BE BASED UPON THE USE OF A CEILING SUPPLY AND DUCTED RETURN AIR SYSTEM.
WORK INCLUDED UNDER THIS SECTION WITHOUT LIMITING THE GENERALITY THEREOF, CONSISTS OF FURNISHING AND INSTALLING ALL MATERIALS, LABOR, EQUIPMENT, AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO THE HEATING, VENTILATING AND AIR CONDITIONING SYSTEM AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN IN GENERAL.
AS FOLLOWS:
1. EXISTING HVAC UNITS ARE TO BE REPLACED WITH NEW OF EQUAL TONNAGE.
2. RELOCATE AND EXTEND OR ADJUST, AS NECESSARY, ALL SHOWN METAL WORK INCLUDING DUCTWORK, DIFFUSERS AND REGISTERS TO ACHIEVE A BALANCED CLIMATE.
3. PROVIDE NEW EXHAUST FANS.
4. INSULATION, PIPE AND DUCT, AS NEEDED.
5. REPAIR OR REPLACE ENVIRONMENTAL CONTROL PANELS, ALL SYSTEMS SENSORS AND RELATED THERMOSTATS AS NEEDED.
6. TESTING AND BALANCING, AS NEEDED.
7. PROVIDE ALL TEMPORARY HOOK UP REQUIRED TO TEST OUT EQUIPMENT.

PROTECTION:
THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFECT OPERATION OF THE ENTIRE SYSTEM AND MUST MAKE GOOD AT HIS OWN EXPENSE ANY PART OF THE WORK WHICH MAY BE STOPPED OR BECOME INOPERATIVE DUE TO LEAVING THE WORK UNPROTECTED DURING CONSTRUCTION OF THE SYSTEM OR WHICH MAY BREAK OR FAIL IN ANY MANNER BY REASONS OF POOR WORKMANSHIP OR DEFECTIVE MATERIALS FOR A PERIOD ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

FRESH AIR CALCULATIONS

PER IMC, CURRENT EDITION:

OFFICES - 173 SF @ 5F/1000 SF = 1P/USE 2) X 5 CFM/P =	10 CFM
AIRFLOW - 173 SF X 0.06 CFM/SF =	10 CFM
COFFEE/BREAK RM - 233 SF @ 20P/1000 SF = 6P X 1.5 CFM/P =	44 CFM
AIRFLOW - 233 SF X 0.06 CFM/SF =	14 CFM
REC. FOTER - 469 SF @ 30P/1000 SF = 14P X 5 CFM =	70 CFM
AIRFLOW - 469 SF X 0.06 CFM/SF =	28 CFM
WORSHIP - 450 SEATS @ PER ARCH = 450P X 5 CFM =	2250 CFM
AIRFLOW - 519 SF X 0.06 CFM/SF =	312 CFM
REC. FOTER - 469 SF @ 30P/1000 SF = 14P X 5 CFM =	70 CFM
AIRFLOW - 469 SF X 0.06 CFM/SF =	28 CFM
DAYCARE TO 4YRS. - 450 SF @ 25P/1000 SF = 11P X 10 CFM =	110 CFM
AIRFLOW - 469 SF X 0.18 CFM/SF =	84 CFM
CLASSROOM 3 - 811 SF @ 35P/1000 SF = 31P X 10 CFM =	310 CFM
AIRFLOW - 811 SF X 0.12 CFM/SF =	105 CFM
STORAGE - 466 SF X 0.12 CFM/SF =	56 CFM
CORRIDOR - 1522 SF X 0.06 CFM/SF =	91 CFM

TOTAL REQUIRED: 3596 CFM

FRESH AIR SUPPLIED:
FRESH AIR TO BE SUPPLIED THROUGH REPLACEMENT AIR HANDLERS AT A RATE OF NO MORE THAN 20% PER UNIT. MECHANICAL CONTRACTOR TO VERIFY THAT EXISTING TONNAGE IS ADEQUATE TO MEET THE FRESH AIR REQUIREMENTS.

EXHAUST FAN SCHEDULE			
MARK	CFM	MANUF.	ELECTRICAL DATA
EF#-4	140	BY ULTRA QUIET	120-1-60

GUARANTEE:
ALL WORK MATERIALS, AND EQUIPMENT SHALL BE GUARANTEE FOR ONE YEAR EXCEPT COMPRESSORS SHALL BE FOR 5 YEARS FROM TENANTS OPENING DATE. ANY DEFECTIVE ITEMS APPEARING WITHIN THE GUARANTEE PERIOD SHALL BE REMOVED AND REPLACED AT NO EXPENSE AND TO THE COMPLETE SATISFACTION OF TENANT. OPERATIONS AND MAINTENANCE MANUALS WILL BE PROVIDED TO OWNER.

GRILLS AND DIFFUSERS:
SUPPLY-CEILING MOUNTED- EQUAL TO 'KUEGER' 5500 SERIES OR EQUAL.
T GRID MOUNTED- EQUAL TO 'KUEGER' 51400 SERIES OR EQUAL.
SUPPLY GRILLES TO HAVE MANUAL DAMPERS.

RETURN: EQUAL TO 'KUEGER' 5500 SERIES (UNLESS OTHERWISE SCHEDULED ON PLANS).

THERMOSTATS:
DIGITAL PROGRAMMABLE THERMOSTATS MOUNTED @ 48' AFF. PER A.D.A. REQUIREMENTS.

DUCTS:
DUCT WORK IS EXISTING. RELOCATE, EXTEND, OR ADJUST AS NECESSARY. METAL ROUND DUCT OR FLEX DUCT IF ALLOWED BY THE CITY WITH JURISDICTION. FLEXIBLE DUCTWORK MIN. R-8. ALL DUCT SEAMS TO BE SEALED WITH UL181A OR 181B TAPES AND MASTICS. MECHANICAL FASTENERS AND SEALANTS MUST BE USED TO CONNECT DUCTS TO AIR DISTRIBUTION EQUIPMENT. ALL DUCT WORK TO BE LINED WITH 1" INSULATION FOR THE FIRST 10' FROM THE FLENUM. BALANCING DEVICES PER IMC 603.3. ALL DUCT WORK PENETRATING FIRE WALLS MUST HAVE FIRE DAMPERS.

MECHANICAL UNITS:
NEW UNITS 2000 CFM OR GREATER MUST HAVE SMOKE DETECTORS ON THE RETURN AIR SIDE.
NEW UNITS 54 KBTU OR GREATER MUST HAVE ECONOMIZERS.
PROVIDE HAIL GUARDS FOR ALL NEW UNITS.
PROVIDE CONDENSATE OVERFLOW SWITCH ON ALL AIR HANDLERS.
CONTRACTOR TO PROVIDE 120V. OUTLET WITHIN 25' OF ALL COMPRESSOR UNITS.

ECONOMIZERS:
AIR ECONOMIZERS SHALL BE CAPABLE OF SUPPLYING UP TO 100% OF DESIGN OUTSIDE AIR.
ECONOMIZERS MUST BE SUPPLIED WITH HONEYWELL, OR EQUAL, ECONOMIZER CONTROL FAD.
HIGH LIMIT SHUT OFF TO BE SET @ 65 DEGREES FAHRENHEIT.
PROVIDE BAROMETRIC RELIEF DAMPER.
GRAVITY DAMPERS TO BE USED FOR RETURN, EXHAUST/ RELIEF, AND OUTDOOR AIR DAMPERS IN ECONOMIZERS.
AIR ECONOMIZERS TO BE EQUIPPED WITH FAULT DETECTION AND DIAGNOSTIC(FDD) SYSTEM(F.D.D.).

NOTE TO BIDDERS

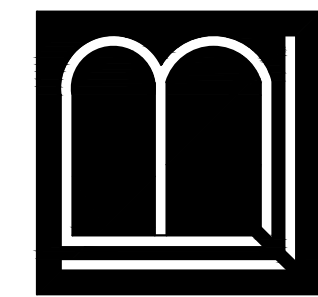
THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.



5/12/2022

RENOVATION FOR
CALVERY BAPTIST CHURCH
700 WOODARD
CLEBURNE, TEXAS

LARRY L. BLACKMON INC.
ENGINEERING & BUILDING DESIGN
6716 AZLE AVENUE
FORT WORTH, TEXAS 76135
REGISTRATION #: F-002382
EMAIL: larry@blackmonconsultingengineers.com PHONE: 817-238-9800



MECHANICAL
PLAN

SHEET:
M100

DATE:
5/12/2022

DRAWN BY:
RLK

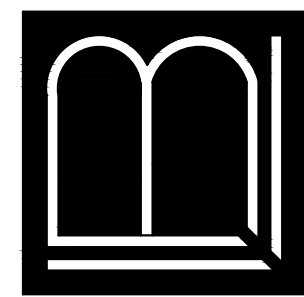
DESIGN BY:
LLB



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PLUMBING
PLAN

SHEET:
P100

DATE:
5/12/2022

DRAWN BY:
RLK

DESIGN BY:
LLB

PLUMBING GENERAL NOTES

PROVIDE ALL PLUMBING ITEMS INDICATED ON THE DRAWINGS, DESCRIBED HEREIN OR OTHERWISE REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, INCLUDING:
A. PLUMBING FIXTURES, FITTINGS AND EQUIPMENT.
B. HOT AND COLD WATER SYSTEMS.
C. DRAIN WASTE AND VENT PIPING SYSTEMS.
D. INDIRECT WASTE PIPING, INCLUDING ALL VALVES, TRAPS, PIPING AND ACCESSORIES.

COMPLY WITH ALL APPLICABLE CODES, STANDARDS AND ORDINANCES, INCLUDING REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION.

THESE DRAWINGS AND SPECIFICATIONS REFLECT A STANDARD DESIGN WHICH MUST BE VERIFIED OR MODIFIED FOR EACH APPLICATION, AS A MINIMUM, VERIFY ALL EQUIPMENT LOADS AND REQUIREMENTS, PIPE AND SERVICE SIZES, SITE CONDITIONS, LOCAL ORDINANCES AND CODES ETC.

THE SUBMISSION OF A BID OR PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS FAMILIARIZED HIMSELF WITH THE PLANS AND BUILDING SITE, CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR MATERIALS AND/OR LABOR DUE TO DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED UNLESS THESE DIFFICULTIES COULD NOT HAVE BEEN FORESEEN, EVEN THOUGH PROPER EXAMINATION HAD BEEN MADE.

COORDINATE WITH ALL TRADES AND VERIFY ALL EQUIPMENT ROUGH-IN ITEMS AND LOCATIONS WITH THE EQUIPMENT SUPPLIER OR CONTRACTOR. ALL RE-WORK AND CORRECTIONS REQUIRED DUE TO LACK OF COORDINATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND DONE AT NO COST TO THE OWNER.

SUBMIT SIX COPIES OF SHOP DRAWINGS AND MATERIAL DATA SUBMITTALS TO THE ENGINEER FOR APPROVAL BEFORE INSTALLATION. NO SUBSTITUTIONS SHALL BE ALLOWED WITH PRIOR APPROVAL BY THE ENGINEER.

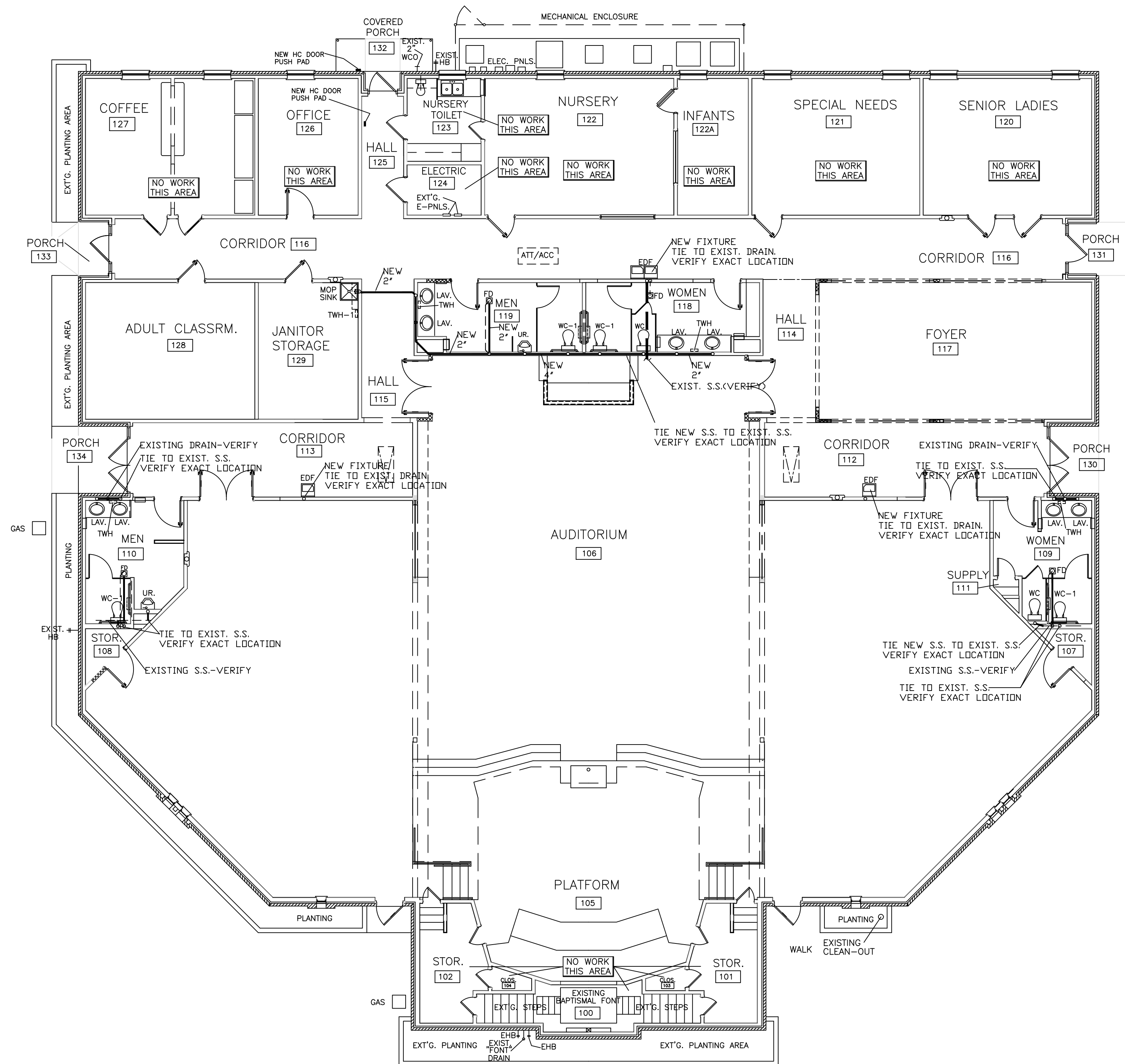
SANITARY AND STORM DRAINS:
WASTE AND VENTS SHALL BE STANDARD WEIGHT CAST IRON NO-HUB PER CISPI STANDARDS 301 AND 310, WITH STAINLESS STEEL ONE-PIECE NEOPRENE GASKETS.
EXTEND ALL PLUMBING VENTS ABOVE THE ROOF.
ALL FLOOR DRAINS AND HUB DRAINS TO HAVE TRAP PRIMERS.

UNDER SLAB PIPING:
SHALL BE CAST IRON BELL AND SPIGOT PIPING WITH NEOPRENE GASKETS, OR A.B.I. 'BEST' COUPLING, WHERE PERMITTED BY LOCAL AUTHORITY, APPROVED PVC OR ABS PLASTIC PIPE AND FITTINGS, PER ASTM D2661-88 OR D2665-88, MAY BE USED.
UNLESS SHOWN OTHERWISE, PROVIDE UNIFORM PITCH OF AT LEAST 1/4 INCH PER FOOT FOR ALL HORIZONTAL DRAINAGE PIPING WITHIN THE BUILDING.
CLEAN OUTS LOCATED IN PAVEMENT OR SIDEWALKS SHALL HAVE BRASS OR CAST IRON COVERS THAT EXTEND TO GRADE.

HOT AND COLD WATER AND INDIRECT WASTE PIPING:
HARD-DRAWN COPPER TUBE, TYPE 'L', PER ASTM B88-88A, MADE UP WITH WROUGHT OR FORGED COPPER SWEAT FITTINGS, UNDER SLABS, TYPE 'K' SOFT TEMPER COPPER TUBE WITHOUT JOINTS, IF PEW TUBING IS USED, UPGRADE LINE SIZE TO NEXT STANDARD SIZE ABOVE SIZES SHOWN ON PLAN.
PROVIDE SHUT-OFF GATE VALVES AND UNIONS AT ALL WATER CONNECTIONS TO EQUIPMENT AND APPLIANCES.
PROVIDE STOPS AND CHROME PLATED BRASS SUPPLIES AT ALL FIXTURES.
PROTECT THE POTABLE WATER SUPPLY AGAINST BACKFLOW AND SIPHONAGE FROM EQUIPMENT, FIXTURES, ETC., USING APPROVED BACKFLOW AND ANTI-SIPHON DEVICES.
ALL PIPE HANGERS, CLAMPS AND CHANNELS SHALL BE ADEQUATELY SIZED TO CARRY PIPE LOADS AND PREVENT SAGGING.
ALL FIXTURES USED FOR STORAGE, PREPARATION, AND HANDLING OF FOOD TO DISCHARGE THROUGH AN INDIRECT WASTE PIPE BY MEANS OF AN AIR GAP. EACH WELL OF A MULTIPLE COMPARTMENT SINK TO DISCHARGE INDEPENDENTLY TO A WATER RECEPTOR.
ALL LAVATORIES AND SINKS TO HAVE TEMPERING VALVES, FIXTURE TAILPIECES AND TRAPS FOR LAVATORIES AND SINKS SHALL BE BRASS TUBING, SEMI-CAST, OR CAST IRON. ALL BRASS TUBING SHALL BE 17 GAGE, CHROME PLATED.

PLUMBING FIXTURES SCHEDULE	
TWH	BEEMAX MINITANK ENT6 6.1 GALLON, 120V, 12 AMP/PS MUST MEET EFFICIENCY REQUIREMENTS AND CONTAIN THERMOSTATIC TEMPERATURE CONTROL, PROVIDE EXPANSION TANK AND T&P VALVE PER CITY CODE, ROUTE T&P LINE TO NEAREST DRAIN.
TWH-I	BEEMAX MINITANK ENT6 6.1 GALLON, 120V, 12 AMP/PS MUST MEET EFFICIENCY REQUIREMENTS AND CONTAIN THERMOSTATIC TEMPERATURE CONTROL, PROVIDE EXPANSION TANK AND T&P VALVE PER CITY CODE, ROUTE T&P LINE TO NEAREST DRAIN.
MS	FIAT MSB-3424, 24"X 24"X 10" HIGH, MOLDED STONE W/ WALL GUARDS, MOP SINK 830-AA VALVE 832-AA HOSE 4 HOLDER COMBO 889-CC MOP HANGER ET1-AA VINYL BUMPER
WC1	AMERICAN STANDARD (OR EQUAL) MADERA ONE PIECE ELONGATED TOILET WITH SELECTRONIC VITREOUS CHINA, 16 GPF MODEL #3043.660, WHITE, SEAT #5325.010, SUPPLY WITH STOP, ADA COMPLIANT INSTALLATION
WC	AMERICAN STANDARD (OR EQUAL) MADERA ONE PIECE ELONGATED TOILET WITH SELECTRONIC VITREOUS CHINA, 16 GPF MODEL #3043.660, WHITE, SEAT #5325.010, SUPPLY WITH STOP, ADA COMPLIANT INSTALLATION
URN	WALL-MOUNT PORCELAIN 10 GPF URINAL - ADA COMPLIANT AMERICAN STANDARD MODEL# FLUSH VALVE, SENSOR OPERATED 6063.101.002 DC POWERED
LAV	AMERICAN STANDARD OVALYRN UNDER COUNTER SINK, 21"X 11-5/8" OVAL, 94023.000.010, WHITE, W/ SELECTRONIC TOUCHLESS FAUCET FAUCET T1B3303.002 PROVIDE HANDICAP PROTECTION
EDF	ELKAY ADA BARRIER FREE WATER COOLER E26TL89C 50, 2 STATION, REVERSIBLE WITH 1-1/2" McGUIRE P-TRAP, 175 LK STOP
FD	ZURN Z-415 FLOOR DRAIN W/ TYPE 'C' STRAINER

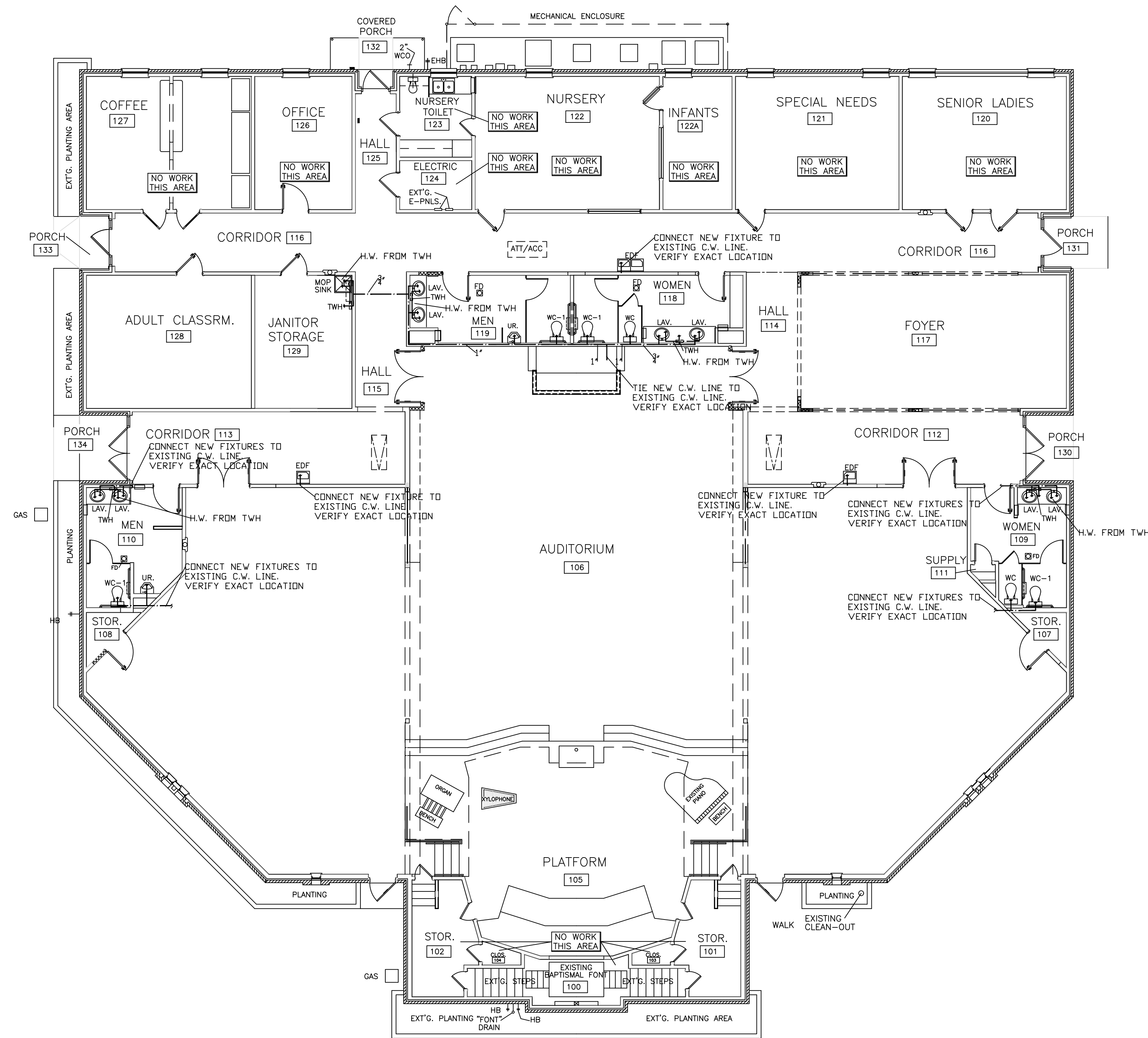
- NOTES:
1. CONTRACTOR TO VERIFY ALL PLUMBING FIXTURE SELECTIONS WITH OWNER.
 2. VERIFY EXACT LOCATION AND DIRECTION OF FLOW OF EXISTING S.S.
 3. TIE NEW SEWER LINES TO EXISTING S.S.
 4. SAW CUT AND BACK-FILL, AS NECESSARY.
 5. VERIFY EXACT LOCATION OF EXISTING C.W. LINE.
 6. TIE NEW C.W. LINES TO EXISTING C.W. LINES.
 7. CAP AND ABANDON ANY UNUSED PLUMBING LINES.
 8. VENT ALL FIXTURES TO EXISTING BUILDING VENTS, VERIFY LOCATIONS.



1
SANITARY SEWER
PLUMBING PLAN
SCALE: 1/8"=1'-0"

NOTE TO BIDDERS

THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.



1 WATER DISTRIBUTION
PLUMBING PLAN
SCALE: 1/8"=1'-0"

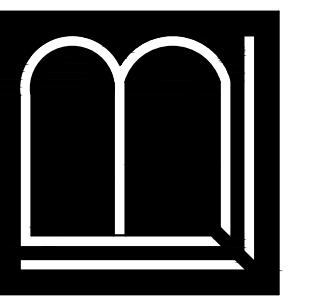
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5/12/2022

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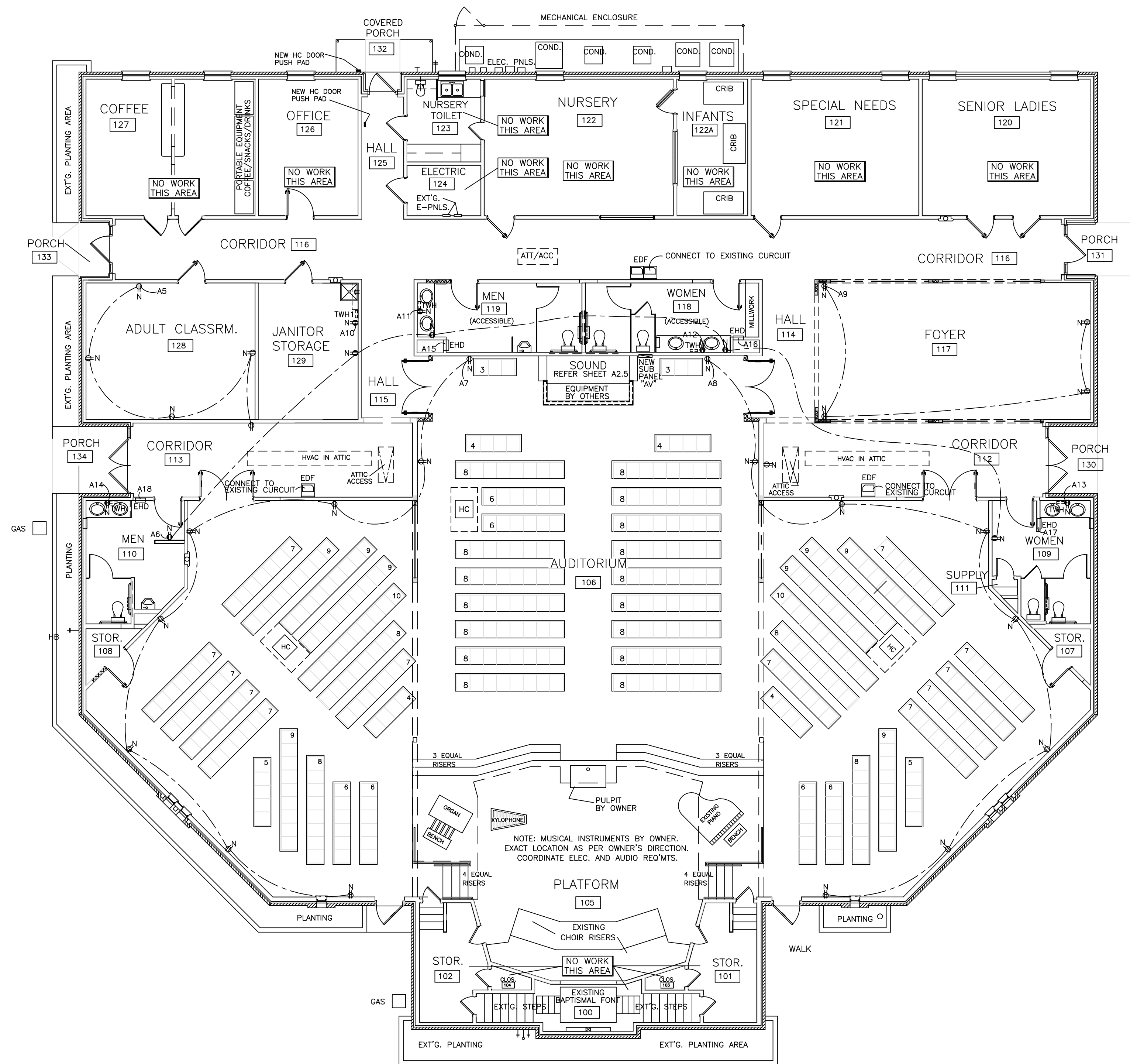
PLUMBING
PLAN

SHEET:
P101

DATE:
5/12/2022

DRAWN BY:
RLK

DESIGN BY:
LLB



ELECTRICAL GENERAL NOTES

- THE EQUIPMENT ROUGH-INS AS SHOWN ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE. HOWEVER, IN SOME INSTANCES, THE OWNER OR SUPPLIER MAY SUBSTITUTE OR THE EQUIPMENT MAY VARY FROM WHAT IS SHOWN. THEREFORE, THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS WITH THE OWNER PRIOR TO CONSTRUCTION. FAILURE OF THE CONTRACTOR TO VERIFY THESE DIMENSIONS SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT RELOCATION DIRECTLY UPON THE CONTRACTOR.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE N.E.C. AND STATE AND LOCAL CODES AS THEY APPLY.
- SWITCHGEAR AND PANELS ARE EXISTING AND TO REMAIN. REVISE AND BALANCE PANELS AS NECESSARY.
- ALL DISCONNECT SWITCHES SHALL BE RATED FOR GENERAL DUTY UNLESS OTHERWISE NOTED.
- ANY FEES ASSOCIATED WITH CONSTRUCTION AND INSPECTION SHALL BE BORNE BY THE CONTRACTOR IN ORDER TO DELIVER TO THE OWNER A FINISHED BUILDING, READY FOR OCCUPANCY AND 100% OPERATION.
- TWO COPIES OF OPERATION AND MAINTENANCE MANUALS FOR THE EQUIPMENT HEREIN INSTALLED SHALL BE GIVEN TO THE OWNER PRIOR TO ACCEPTANCE OF THE BUILDING FOR OCCUPANCY.
- ALL PANELBOARDS SHALL BE LABELED WITH RESPECT TO THEIR TITLE, VOLTAGE AND PHASE: I.E. PANEL 'A' 120/208/3. LABEL SHALL BE PHENOLIC PLASTIC WITH WHITE LETTERS AND BLACK BACKGROUND. LABELS SHALL BE PERMANENTLY FIXED TO THE EQUIPMENT.
- PANELBOARDS SHALL CONTAIN A TYPEWRITTEN DIRECTORY OF ALL CIRCUITS WITH A PLASTIC COVER AFFIXED TO THE INSIDE DOOR.
- ANY DEVIATION FROM PLANS WITHOUT PRIOR APPROVAL OF THE ARCHITECT SHALL BE CAUSE FOR THE REJECTION OF MATERIALS AND/OR METHODS, AND ANY COST INCURRED TO CORRECT SUCH DEVIATION TO THE SATISFACTION OF THE A/E SHALL BE BORNE BY THE CONTRACTOR.
- ANY COSTS INCURRED DUE TO LACK OF COOPERATION AMONG THE TRADES SHALL BE BORNE BY THE CONTRACTOR.
- THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS FAMILIARIZED HIMSELF WITH THE PLANS AND BUILDING SITE. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR MATERIALS AND LABOR, BECAUSE OF DIFFICULTIES ENCOUNTERED, WILL NOT BE RECOGNIZED IF THEY COULD HAVE BEEN FORESEEN HAD PROPER EXAMINATION BEEN MADE.
- TRADE NAMES ARE GIVEN TO CLARIFY TYPE OF PRODUCT AND QUALITY DESIRED.
- ALL REMOTE EQUIPMENT ON ROOF OR GROUNDS SHALL HAVE A DISCONNECT SWITCH AT EACH PIECE OF EQUIPMENT. FURNISH FUSED DISCONNECTS AS REQUIRED BY N.E.C.
- IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY, PRIOR TO ANY INDIVIDUAL CIRCUIT'S INSTALLATION, TO VERIFY WITH ALL OTHER TRADES CONCERNED THAT THE CIRCUIT WITH DEVICES AS DRAWN IS ADEQUATE IN SIZE AND MAKE-UP FOR THE EQUIPMENT TO BE INSTALLED. IF ANY CONFLICT IN VOLTAGE, PHASE, OR LOAD IS ENCOUNTERED WHICH WOULD ALTER THE CIRCUIT NOTIFY THE ENGINEER OR OWNER IMMEDIATELY. FAILURE TO DO SO SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT CIRCUIT CHANGE DIRECTLY UPON THE CONTRACTOR.
- ALL ITEMS IN THE NOTES, SCHEDULES AND LEGEND MAY NOT NECESSARILY APPEAR ON THESE DRAWINGS.
- MINIMUM WIRE SIZE SHALL BE #12 AWG AND MINIMUM CONDUIT SIZE SHALL BE 3/4". ALL WIRING SHALL BE RUN IN CONDUIT.
- WIRING SHOWN IN THE PANEL SCHEDULE IS THE MINIMUM REQUIRED. RUNS IN EXCESS OF 90'-0" (ONE WAY) SHALL BE SIZED PER THE N.E.C. MAXIMUM 2% VOLTAGE DROP.
- ANY ELECTRICAL OUTLETS WITHIN 6 FEET OF A SINK SHALL BE GFI PROTECTED. PROVIDE EITHER INDIVIDUAL GFI DEVICES OR GFI CIRCUIT BREAKERS, UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OR SCHEDULES.
- PROVIDE A 120 VOLT RECEPTACLE WITHIN 25 FEET OF ALL HVAC EQUIPMENT IN THE ATTIC. MOUNT TO STRUCTURE.
- ALL FIXTURES TO BE PROPERLY SECURED TO PREVENT MOVING ONCE IN PLACE.
- ALL CONDUIT (RIGID AND FLEXIBLE) SHALL BE PROPERLY SECURED AND NOT ALLOWED TO LIE ON FLOOR, ETC.

ELECTRICAL SYMBOL LEGEND

⊕	120V DUPLEX OUTLET
⊕	GROUND FAULT INTERRUPTER 120V DUPLEX OUTLET
B	120V J BOX

ADDITIONAL ELECTRICAL NOTES:

- ELECTRICAL CONTRACTOR TO VERIFY BREAKER SIZE AND HOOK UP REQUIREMENTS WITH HVAC CONTRACTOR AND EQUIPMENT SUPPLIERS.
- ALL OUTLETS TO BE INSTALLED #18" AFF. UNLESS NOTED OTHERWISE. COORDINATE HEIGHT OF OUTLETS ABOVE MILLWORK WITH FINAL MILLWORK DESIGN.
- AUDIO/VIDEO DESIGN BY OTHERS. CONTRACTOR TO COORDINATE ALL EQUIPMENT LOCATIONS AND REQUIREMENTS WITH OWNER.
- CONTRACTOR TO REUSE EXISTING CIRCUITRY AS MUCH AS POSSIBLE. VERIFY EXISTING CIRCUITS THAT ARE REUSED ARE ADEQUATE TO SERVE THE NEW LOAD.
- ALL REPLACEMENT HVAC UNITS TO BE CIRCUITED TO EXISTING CIRCUITS. VERIFY REQUIREMENTS.
- EHD-XLERATOR ECO HAND DRYER: 120V, 45A, 530 WATT.

ALL CIRCUITS TO EXISTING PANELS. REVISE AND BALANCE PANELS AS NECESSARY.

PANEL - A (EXISTING)											
MB											
DESCRIPTION	POLES	BKR	V.A. LOAD	CIRCUIT	V.A. LOAD	BKR	POLES	DESCRIPTION			
NEW LIGHTS/FANS	1	20	1178	1	A	2	1028	20	1	NEW LIGHTS/FANS	
NEW LIGHTS	1	20	607	3	B	4					
NEW OUTLETS	1	20	300	5	C	6	300	20	1	NEW GFI OUTLETS	
NEW OUTLETS	1	20	1440	7	A	8	1440	20	1	NEW OUTLETS	
NEW OUTLETS	1	20	720	9	B	10	1440	20	1	TUW-1	
TUW	1	20	1440	11	C	12	1440	20	1	TUW	
TUW	1	20	1440	13	A	14	1440	20	1	TUW	
EHD	1	20	530	15	B	16	530	20	1	EHD	
EHD	1	20	530	17	C	18	530	20	1	EHD	
				19	A	20					
				21	B	22					
				23	C	24					
				25	A	26					
				27	B	28					
				29	C	30					
				31	A	32					
				33	B	34					
				35	C	36					
				37	A	38					
				39	B	40					
				41	C	42					
MOUNTING				CONNECTED LOAD			DEMAND FACTOR	DEMAND LOAD			
				A	B	C		A	B	C	
LOCATION				LIGHTS	2206	607	-0-	125	2758	759	-0-
				OUTLETS	5760	3220	5740	100	5760	3220	5740

NOTE TO BIDDERS

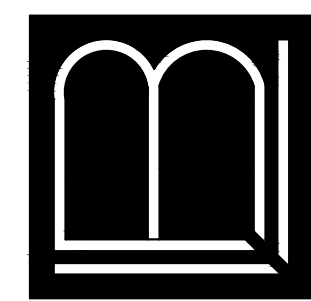
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5/12/2022

RENOVATION FOR
CALVARY BAPTIST CHURCH
700 WOODARD
CLEBURNE, TEXAS

LARRY L. BLACKMON INC.
ENGINEERING & BUILDING DESIGN
6716 AZLE AVENUE
FORT WORTH, TEXAS 76135
REGISTRATION #: F-002382
EMAIL: larry@blackmonconsultingengineers.com PHONE: 817-238-9807



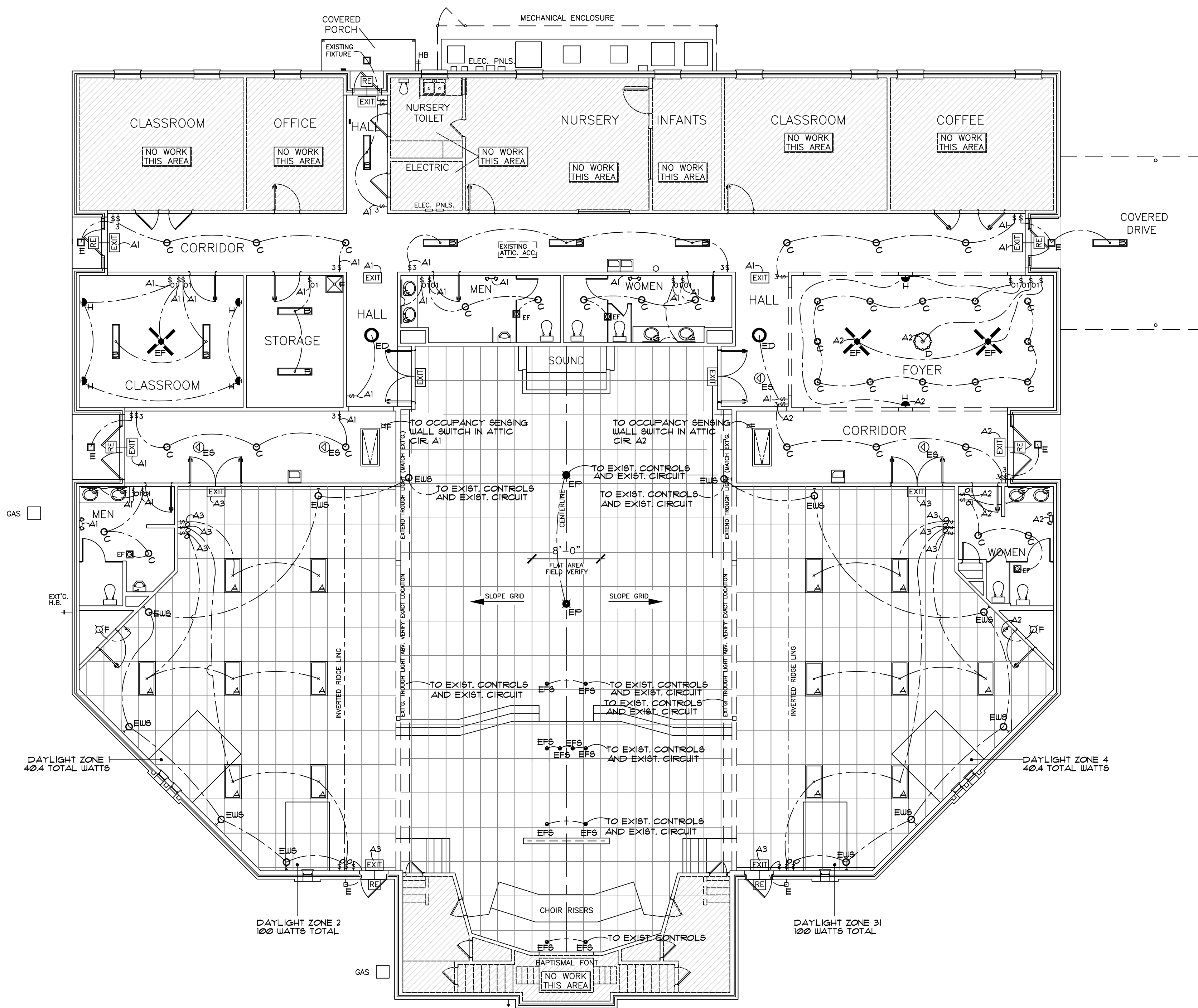
ELECTRICAL
PLAN

SHEET:
E100

DATE:
5/12/2022

DRAWN BY:
RLK

DESIGN BY:
LLB



LIGHTING ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

LIGHT FIXTURE SCHEDULE		
EXIT	WALL OR CEILING MOUNTED ILLUMINATED DIRECTIONAL EXIT SIGN W/ EMERGENCY LIGHTING AND 90 MINUTE BATTERY BACKUP	SURE-LITE AFXTB VERIFY EXISTING OR PROVIDE NEW
EF	NEW WALL OR CEILING MOUNT EMERGENCY LIGHTING WITH 90 MINUTE BATTERY BACKUP	SURE-LITE CUI
RE	EMERGENCY REMOTE HEAD WITH 90 MINUTE BATTERY BACKUP	SURE-LITE UNIVERSAL REMOTE HEAD VERIFY EXISTING OR PROVIDE NEW
EF	NEW EXHAUST FAN	REFERENCE EXHAUST FAN SCHEDULE SHEET M100
E	EXISTING SOFFIT LIGHT TO REMAIN	
E	EXISTING COACH LIGHT TO REMAIN	
ES	EXISTING SPEAKER TO BE REUSED	COORDINATE WIRING WITH A/V DESIGN.
EP	EXISTING PENDANT FIXTURE TO BE REUSED	
EFB	EXISTING FUNERAL SPOT FIXTURE TO BE REUSED	VERIFY MOUNTING LOCATIONS WITH OWNER. SWITCH LIGHTS AT EXISTING LOCATION.
EW	EXISTING WALL SCONCE FIXTURE TO BE REUSED	SWITCH LIGHTS AT EXISTING LOCATION.
ED	EXISTING DECORATIVE FIXTURE TO BE REUSED	
EF	EXISTING FAN TO BE REUSED	
A	NEW LED PANEL 2X4 LAY IN 40.4 WATTS PER FIXTURE	EATON METALUX 24FP 24FP4135C1 3500K, 90 CRI, 4990 LUMENS
A	NEW LED 1X4 SURFACE MOUNT PANEL 38.3 WATTS PER FIXTURE	EATON METALUX 14FP 14FP4235C1 3500K, 90 CRI, 4235 LUMENS
C	NEW 6" RECESSED LED 'C' 'AIR TITE' RATED DOWN LIGHT -20 WATTS	HALO HTB01CAT- HOUSING ML5612335 LED LIGHT ENGINE 90CRI, 3500K, 1200 LUMEN B-6328C SPECULAR REFLECTOR TRIM
D	NEW LED DECORATIVE SURFACE MOUNT FIXTURE 200 WATTS MAXIMUM	TO BE SELECTED BY OWNER
F	NEW KEYLESS LAMP HOLDER (1) 60 WATT LAMP MAXIMUM	EATON OR EQUAL
G	NEW LED WALL MOUNTED VANITY FIXTURE 12 W LED, 3000K, 1150 LUMENS, 95 LM/W	ASL MODEL * VBD8-12-3000K-WB1-SATIN NICKEL
H	NEW LED WALL SCONCE FIXTURE 12 W LED, 3000K, 1150 LUMENS, 95 LM/W	ASL MODEL * ART-15-3500K-WH-XX

CONTROLS SCHEDULE		
TYPE/ SYM.	DESCRIPTION	MANUFACTURER
1	SINGLE POLE SWITCH	EATON
3	3 WAY SINGLE POLE SWITCH	EATON
W	WIRELESS IN WALL SWITCH - FOR USE WITH WIRELESS SENSOR	LUTRON FJ2-2BRL-GWH-L01 WITH/ CU-1-WH WALL PLATE
O	PIR OCCUPANCY SENSING IN WALL DIMMER AND MANUAL ON/AUTO OFF/ 30 MIN. TIMEOUT	LUTRON M8-M101-WH 0-10V
CI	PIR OCCUPANCY SENSING IN WALL DIMMER AND MANUAL ON/AUTO OFF/ 30 MIN. TIMEOUT	LUTRON M8CL SERIES M8CL-OP13M1-XX LINE VOLTAGE
C	WIRELESS CORNER MOUNT OCCUPANCY/ VACANCY SENSOR	LUTRON RADIO POUR SAVR LR52-OKLB-P-WH

NOTES:
1. VERIFY ALL FIXTURE SELECTIONS WITH OWNER.
2. MOUNT ALL SWITCHES • 48" AFF.
3. VERIFY NUMBER AND TYPE OF CONTROL DEVICES (SWITCHES, SENSORS, RELAYS, ETC.) NEEDED TO PROVIDE A COMPLETE WORKING OCCUPANCY/ VACANCY/ LIGHTING LEVEL SYSTEM. LOCATE AND INSTALL CONTROL DEVICES PER MANUFACTURER'S INSTRUCTION.
4. EXISTING TROUGH LIGHTS (2) ARE TO BE EXTENDED TO THE END OF THE NEW TROUGH SPACE. MATCH EXISTING FIXTURES, SWITCH AND CIRCUIT WITH EXISTING TROUGH FIXTURES.

DAY LIGHTING NOTES:
DAY LIGHT ZONES 1-4 ARE EXEMPT. ALL ZONES HAVE LESS THAN 150 WATTS OF GENERAL LIGHTING.

NOTE TO BIDDERS

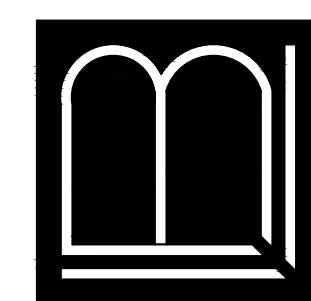
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